

HARRIS COUNTY

APPRAISAL

DISTRICT

13013 NORTHWEST FREEWAY
HOUSTON, TX 77040

LEVEL 1, WEST SIDE

SINGLE MEMBER ARB ROOMS

ISSUE FOR BID & PERMIT
04-19-22

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CITY OF HOUSTON PROJECT NUMBER: 22038256
TDLR PROJECT NUMBER: TABS2022016531



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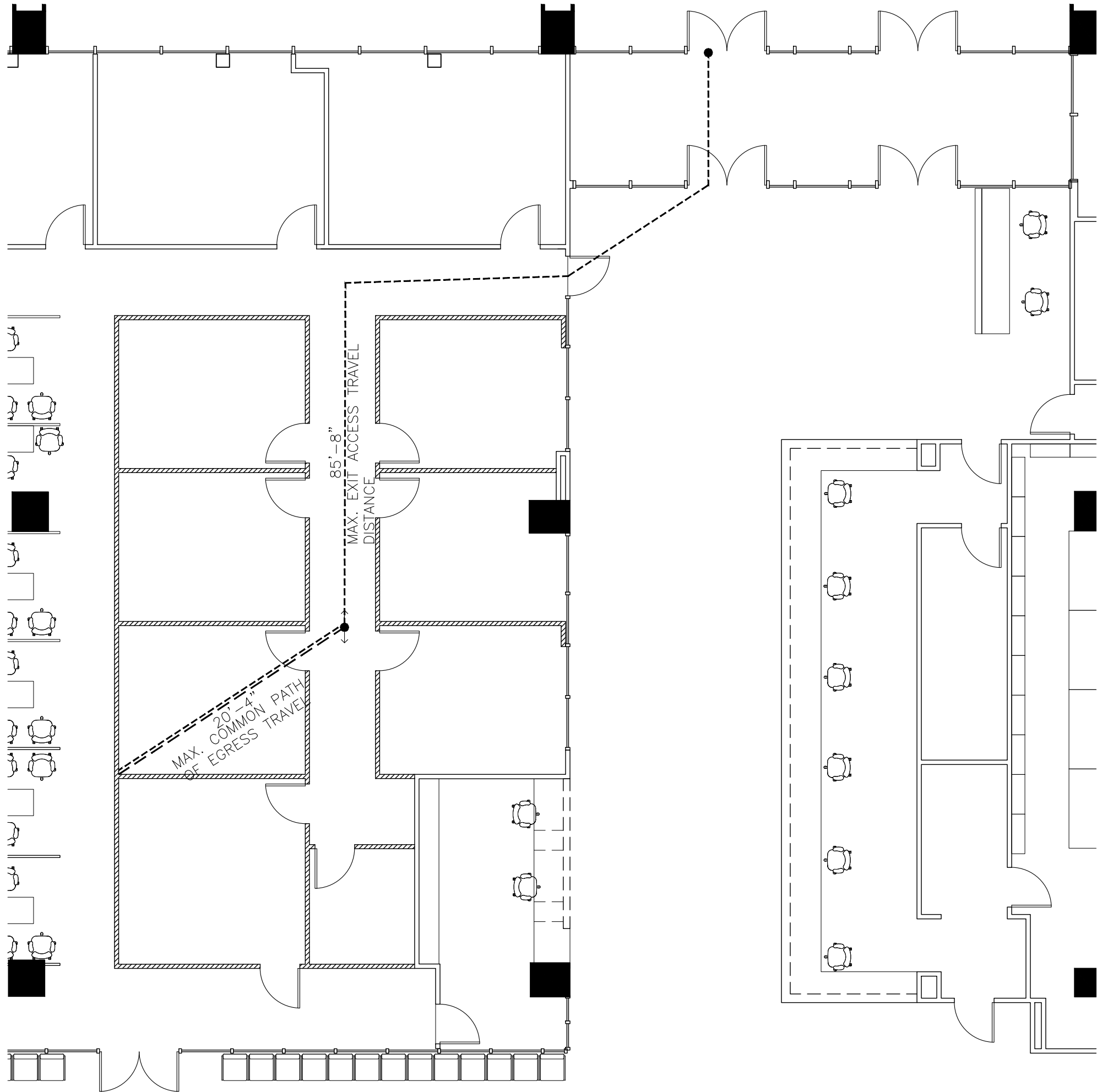
CODE ANALYSIS:

- SQUARE FOOTAGE OF AREA OF WORK
 - CONFERENCE AREA 1,518 S.F.
 - OFFICE AREA 1,232 S.F.
 - REMAINING SPACE ON FLOOR 286 S.F.
 - TOTAL SQUARE FOOTAGE ON FLOOR 35,668 S.F.
 - OCCUPANCY FACTOR:
 - 1232 S.F. - CONFERENCE AREAS (1 PER 15) = 82.1 PERSONS
 - 286 S.F. - OFFICE AREAS (1 PER 100) = 2.86 PERSONS
 - OCCUPANT LOAD TOTAL FOR AREA OF WORK:
 - 86 PERSONS
 - NUMBER OF EXITS:
 - 2 REQUIRED (>49)
 - 2 PROVIDED (OK)
- FIRE ALARM - PROVIDED
FULLY SPRINKLED = WET (NFPA 13 PER 2012 IBC SEC 903.3.1) 100%
- MAXIMUM COMMON PATH OF EGRESS TRAVEL ALLOWED = 100'
MAXIMUM COMMON PATH OF EGRESS TRAVEL = 20'-4" (OK)
- MAXIMUM EXIT ACCESS DISTANCE OF TRAVEL ALLOWED = 300'
MAXIMUM EXIT ACCESS DISTANCE OF TRAVEL = 85'-8" (OK)
- MAXIMUM DEAD END DISTANCE ALLOWED = 50'
MAXIMUM DEAD END DISTANCE = 0'-0" (OK)
- 7 STORY OFFICE BUILDING = 94'-0" TO FINISHED FLOOR OF LEVEL 7

NOTE: THIS BUILDING IS A SINGLE TENANT BUILDING, THEREFORE, ALL AREAS ARE OCCUPIED BY A SINGLE TENANT.

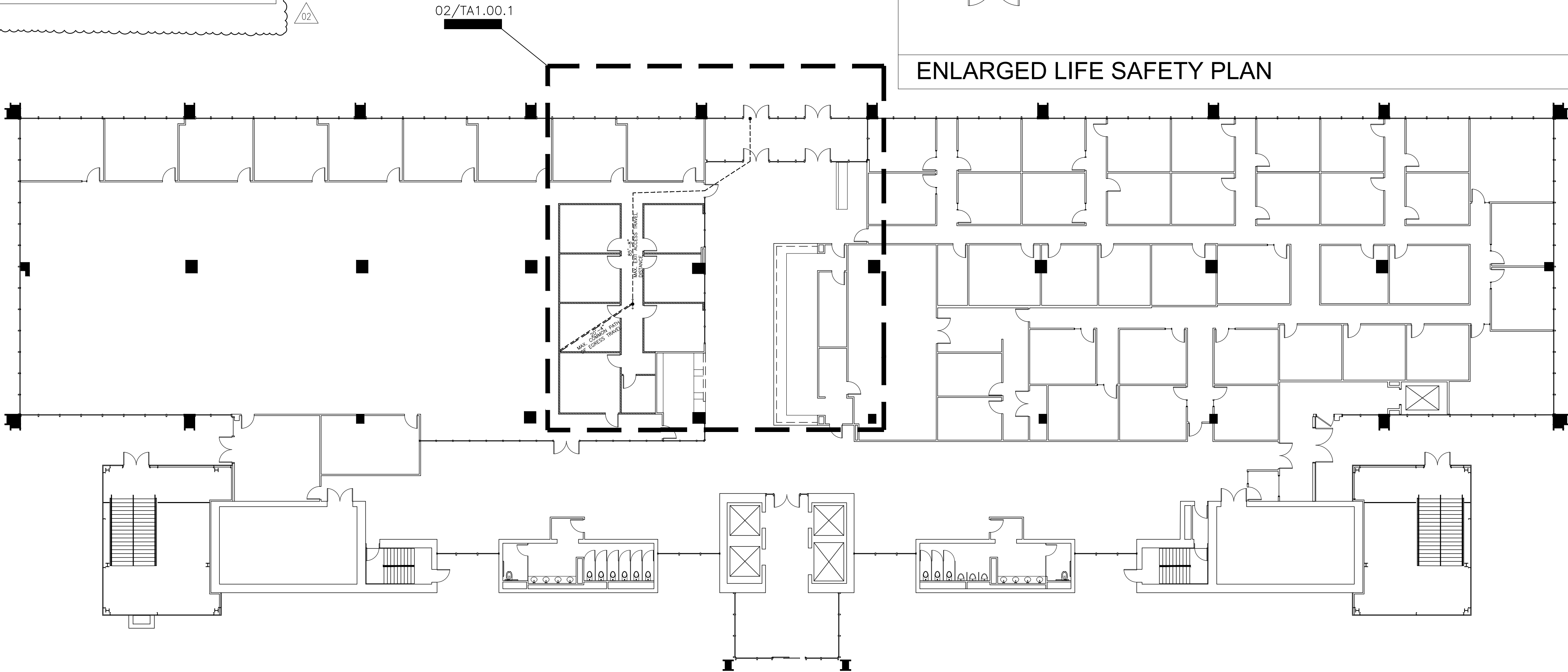
NOTE: ALL FIRE ALARMS AND SPRINKLERS TO BE PERMITTED AND SUBMITTED SEPARATELY AS REQUIRED BY THE CITY OF HOUSTON

- MAXIMUM OCCUPANT LOAD PER FLOOR 4 STAIRS:
- TOTAL SQUARE FOOTAGE OF LEVEL 1 37,186 S.F.
- EXITS - LV1: SECTION 1015: 6 EXITS MAXIMUM OCCUPANCY > 1000 PEOPLE
 - STAIR WIDTH - LV1: NA
 - DOOR WIDTH - LV1: SECTION 1005.3.2: OTHER EGRESS 2X36 + 5X72 = 432 / .15 = 2,880 PEOPLE
- MAXIMUM OCCUPANCY OF FLOOR 6 EXITS = 2,880 PEOPLE
OCCUPANCY PER AREA OF WORK = 86 PEOPLE
OCCUPANCY PER REMAINING FLOOR (1 PER 100, PER TABLE 1004.1.2) = 357 PEOPLE
TOTAL FOR FLOOR 443 < 2,880 (OK)
- SMALLEST CORRIDOR WIDTH = 44" MIN < 60" PROVIDED (OK)
- APPLICABLE CODES:
- 2012 INTERNATIONAL BUILDING CODE (IBC)
2012 UNIFORM PLUMBING CODE (UPC)
2012 UNIFORM MECHANICAL CODE (UMC)
2020 NATIONAL ELECTRICAL CODE (NEC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) & ANSI/ASHRAE/IES STANDARD 90.1-2013
CITY OF HOUSTON AMENDMENTS, ORDINANCES, AND CODE WORDS TO ALL CODES.
- TABLE 601 REQUIREMENTS FOR TYPE IA
- PRIMARY STRUCTURAL FRAME 3HR; COLUMNS: UL X701 3HR., FLOORS/BEAMS: UL N735 3HR.
BEARING WALLS INTERIOR 3HR
NON BEARING WALLS AND PARTITIONS INTERIOR 0HR
NON BEARING WALLS AND PARTITIONS EXTERIOR 0HR
- FLOOR CONSTRUCTION AND SECONDARY MEMBERS 2HR; FLOORS/BEAMS: UL N735 2HR.
ROOF CONSTRUCTION AND SECONDARY MEMBERS 1-1/2HR



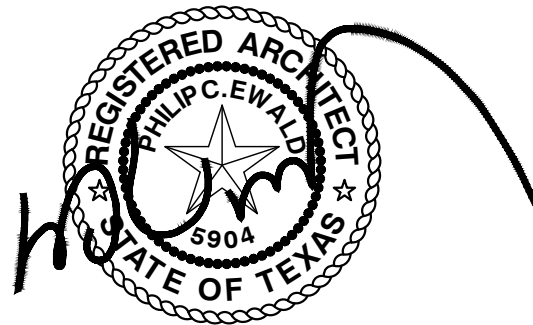
ENLARGED LIFE SAFETY PLAN

1/8" = 1'-0" 02



LIFE SAFETY PLAN

1/16" = 1'-0" 01



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SIGNATURE REPRESENTS THAT SEAL WAS AFFIXED WITH THE AUTHORIZATION OF THE ARCHITECT.
SIGNATURE DATE: 02/28/2022
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No:	DATE:	ISSUE TITLE:
1	02/10/22	ISSUE FOR REVIEW
2	03/01/22	ISSUE FOR BID - ARCHITECTURAL
3	03/17/22	ISSUE FOR BID REVISION
4	04/19/22	ISSUE FOR BID & PERMIT 02

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HOUSTON, TX 77040

LEVEL 1



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LIFE SAFETY PLAN
NOTES ON SHEET TA1.00

TA1.00.1

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GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE PORTIONS OF THE ORIGINAL "BASE BUILDING" SPECIFICATIONS UNLESS STRICTER REQUIREMENTS ARE NOTED OTHERWISE. IN THE EVENT THAT THE ORIGINAL "BASE BUILDING" SPECIFICATIONS ARE NOT AVAILABLE, ALL WORK SHALL CONFORM TO THE APPLICABLE PORTIONS OF PHILIP EWALD ARCHITECTURE, INC. STANDARD SPECIFICATIONS WHICH ARE AVAILABLE FOR REVIEW IN THE ARCHITECT'S OFFICE.
2. ALL WORK SHALL BE COVERED BY THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS A-201, LATEST EDITION.
3. ALL WORK SHALL BE CONSTRUCTED IN STRICT CONFORMANCE WITH THE FOLLOWING CODES WITH ANY AMENDMENTS WHETHER REQUIRED BY THE LOCAL GOVERNING ORGANIZATION OR NOT: THE CITY OF HOUSTON BUILDING CODE, 2012 INTERNATIONAL BUILDING CODE, 2012 UNIFORM MECHANICAL CODE, 2012 UNIFORM PLUMBING CODE, 2020 NATIONAL ELECTRIC CODE, 2012 INTERNATIONAL FIRE CODE, 2015 IECC OR 2013 ASHRAE 90.1 ENERGY CODE PURSUANT TO SECTION 19.53 OF CHAPTER 34 TEXAS ADMINISTRATIVE CODE, AND THE AMERICANS WITH DISABILITIES ACT TITLES, II, III; ALL OF THE ABOVE, THE LATEST EDITION.
4. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP, DESIGN, AND MATERIALS FOR A PERIOD OF ONE YEAR.
5. ALL MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S LATEST INSTRUCTIONS AND PROCEDURES.
6. PRIME ALL MATERIALS FOR PROPER ADHESION OF FINISH COAT AS RECOMMENDED BY MANUFACTURER. IF EXISTING COLORS WILL ALTER FINAL APPEARANCE, PRIME EXISTING MATERIALS TO ACHIEVE UNIFORM APPEARANCE.
7. SUBSTITUTIONS OF MATERIALS WITHOUT PRIOR REVIEW AND ACCEPTANCE BY THE ARCHITECT ARE PROHIBITED.
8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS DURING THE BIDDING, PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES OR CONFLICTS EXISTING BETWEEN THE PLANS AND THE EXISTING CONDITIONS.
9. CONTRACTOR SHALL EXAMINE DURING BIDDING PHASE, PRIOR TO THE START OF CONSTRUCTION, THE AREA ABOVE THE CEILING TO DETERMINE IF THERE ARE ANY CONFLICTS BETWEEN ANY NEW OR RELOCATED LIGHT FIXTURES AND ANY EXISTING DUCTS, PIPES, CONDUITS OR OTHER STRUCTURE OR DEVICE WHICH WILL INTERFERE WITH THE FIXTURES' PROPER INSTALLATION.
10. REFER TO "BASE BUILDING" DRAWINGS FOR ALL NON-TENANT WORK IN CORE AREA.
11. ALL CONSTRUCTION MUST BE NEW UNLESS OTHERWISE SPECIFIED.
12. THE ABSENCE OF A DESIGNATION SYMBOL OF A SCHEDULED PARTITION, FINISH, DOOR AND/OR HARDWARE SET DENOTES THAT THOSE ITEMS ARE BUILDING STANDARD, FOR BUILDING STANDARD INFORMATION REFER TO SHEET TD1.00
13. REFINISH AND/OR REPLACE EXISTING CONSTRUCTION TO THE EXTEND THAT THE FORMER JUNCTION BETWEEN EXISTING CONSTRUCTION TO REMAIN AND NEW CONSTRUCTION IS UNIDENTIFIABLE.
14. EXISTING CONSTRUCTION WHERE NOTED TO REMAIN MUST MATCH THE REQUIREMENTS AND APPEARANCE FOR SIMILAR NEW CONSTRUCTION. IF THE EXISTING CONSTRUCTION CAN NOT BE MODIFIED TO MEET THE REQUIREMENTS AND APPEARANCE FOR SIMILAR NEW CONSTRUCTION, IT MUST BE DEMOLISHED AND REPLACED WITH NEW CONSTRUCTION.
15. FIRE STOPPING REQUIREMENTS: PENETRATIONS THROUGH RATED WALLS AND FLOORS SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASSES WHEN SUBJECTED TO THE REQUIREMENTS OF TEST STANDARD SPECIFICATION FOR FIRE STOPS ASTM-E-814. MATERIAL MUST BE RED IN COLOR.
16. IF THERE IS A CONFLICT IN THE PLANS AMONG ANY TRADES (MEP, STRUCTURAL, ETC) THE CONTRACTOR SHALL PRICE THE MOST EXPENSIVE COMBINATION. THE CONTRACTOR SHALL ALSO BRING THE CONFLICT TO THE ARCHITECTS ATTENTION.
17. ANY ADDED ROOMS THAT CONTAINS WATER GENERATING EQUIPMENT MUST BE SEALED AT FLOOR WITH 1" BEAD OF WATERPROOFING MATERIAL AT FLOOR AND PARTITION CONNECTION.

PARTITIONS:

1. ALL PARTITIONS ARE BUILDING STANDARD TYPE (T) UNLESS NOTED OTHERWISE. REFER TO 01/TD1.00 FOR PARTITION TYPES.
2. ALL PARTITIONS ARE TO BE LOCATED ON MULLION CENTERLINES UNLESS DIMENSIONED OTHERWISE. OTHER PLAN DIMENSIONS ARE TO FACE OF GYP. BD.
3. WALL TERMINATION AT THE CURTAIN WALL SHALL BE CONSTRUCTED ACCORDING TO ONE OF THE DETAILS 02/TD1.00 DEPENDING ON THE CONDITION.

4. PARTITIONS ARE INDICATED ON THE PLAN THUSLY

===== EXISTING PARTITION

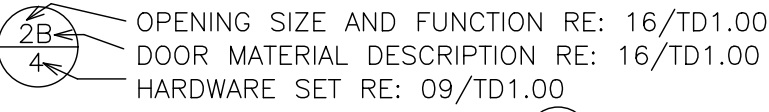
//////////////// NEW CONSTRUCTION

=== == EXISTING CONSTRUCTION TO BE REMOVED

5. CONTRACTOR SHOULD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO BIDDING AND MAKE THE APPROPRIATE ADJUSTMENTS FOR ANY DISCREPANCIES.

DOORS, FRAMES AND HARDWARE:

1. ALL DOORS, FRAMES AND HARARE SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOUSTON BUILDING CODE AND THE INTERNATIONAL BUILDING CODE, LATEST EDITION.
2. ALL GLASS IN IMPACT AREAS SHALL COMPLY WITH SECTION 5406 AND USC IMPACT STANDARD 54-2 PART 1.
3. DOOR SYMBOLS ARE INDICATED THUSLY ON THE PLANS:



4. ALL DOORS ARE BUILDING STANDARD TYPE (1A) UNLESS NOTED OTHERWISE

5. EXISTING DOORS ARE INDICATED THUSLY (E)

6. WHERE A CLOSER IS SPECIFIED, PROVIDE A PARALLEL ARM IF REQUIRED, SO THAT CLOSER BODY IS LOCATED ON THE LEAST PUBLIC SIDE OF THE DOOR, NEVER ON THE CORRIDOR SIDE. CLOSERS SHALL NOT BE INSTALLED WITH THROUGH BOLTS.

7. DOOR OPENINGS SHALL BE PROTECTED BY TIGHT FITTING SMOKE, AND DRAFT-CONTROL ASSEMBLIES HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH SECTION 715, 2012 INTERNATIONAL BUILDING CODE WITH CITY AMENDMENTS

ROOM NUMBERS AND FINISHES:

1. ALL FLOOR FINISHES, WALL FINISHES, AND BASE TYPE ARE THE BUILDING STANDARD FINISH AS NOTED IN THE FINISH SCHEDULE UNLESS OTHERWISE NOTED ON THE PLANS, REFER TO 04/TD1.00 FOR FINISH SCHEDULE.

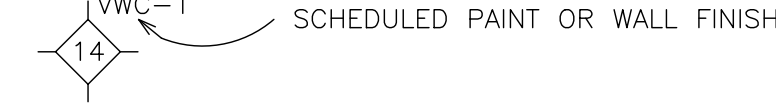
2. THE ARCHITECT IS SOLELY RESPONSIBLE FOR SELECTING THE FINISHES.

3. ALL VINYL COMPOSITION FLOOR TILES, IF SCHEDULES, SHALL BE LAID WITH PATTERN IN ONE DIRECTION. DIRECTION SHALL BE DETERMINED BY ARCHITECT.

4. ROOM NUMBERS AND SPECIAL FINISHES ARE INDICATED ON THE PLANS THUSLY



5. SPECIAL WALL FINISHES ARE INDICATED ON THE PLANS THUSLY



FURNITURE, EQUIPMENT AND MILLWORK:

1. ALL FURNITURE SHOWN ON THE PLANS IS PROVIDED AND INSTALLED BY THE TENANT UNLESS NOTED OTHERWISE.
2. ALL EQUIPMENT SHOWN ON THE PLANS IS PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
3. ALL MILLWORK SHOWN ON THE PLANS IS PROVIDED AND INSTALLED BY THE CONTRACTOR. ALL MILLWORK SHALL COMPLY WITH THE REQUIREMENTS OF THE AWI FOR A CUSTOM INSTALLATION UNLESS NOTED OTHERWISE.
4. AT ALL EXISTING MILLWORK, IF ANY, CONTRACTOR SHALL SQUARE ALL DOORS.
5. TYPICAL INTERIOR WALL AND/OR MILLWORK ELEVATION SYMBOL IS NOTED THUSLY:

15/TD1.00

PROJECT CLOSE OUT:

1. ALL DOOR HARDWARE IS TO BE CHECKED, LUBRICATED AND ADJUSTED PRIOR TO MOVE IN.
2. ALL CEILING AND LIGHT FIXTURES ARE TO BE CHECKED, LUBRICATED AND ADJUSTED PRIOR TO MOVE IN.
3. COMPLETE AIR BALANCING IN ALL SPACES PRIOR TO MOVE IN.
4. PRIOR TO MOVE IN, CONTRACTOR SHALL MAKE FINAL INSPECTION AND RECORD ALL ITEMS OF DEFICIENCY BY ROOM NUMBER. THIS LIST SHALL BE FORWARDED TO THE OWNER AND THE ARCHITECT WITH A REQUEST FOR PUNCH LIST REVIEW.

ACCESSIBILITY:

1. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE FIVE LBF. (FIRE DOOR SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY). ON A DOOR WITH A CLOSER, THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.

2. CHANGES IN LEVEL: ACCESSIBLE ROUTES OF TRAVEL AND ACCESSIBLE SPACES WITHIN BUILDINGS SHALL HAVE CONTINUOUS COMMON FLOOR OR RAMP SURFACES. ABRUPT CHANGES IN HEIGHT GREATER THAN 1/4 INCH SHALL BE BEVELED TO 1 VERTICAL IN 2 HORIZONTAL. CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF RAMP MEETING THE REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS (TAS) OF THE ARCHITECTURAL BARRIERS ACT ARTICLE 9102, TEXAS CIVIL STATUTES.

3. ALL FLOORING SURFACES SHALL BE SLIP RESISTANT AS REQUIRED BY TAS 302.1. HARD FLOORING SURFACES SHALL BE A MINIMUM OF P5 AND IN THE EMPLOYEE AREAS A MINIMUM OF P5 SLIP RESISTANCE PER THE SAHB198-2014 GUIDE TO THE SPECIFICATION AND TESTING OF SLIP RESISTANCE OF PEDESTRIAN SURFACES.

RENOVATION NOTES:

1. ANY WORK PERFORMED OUTSIDE THE PROJECT AREA SHALL BE SCHEDULED WITH BUILDING MANAGEMENT, THE AREA IN WHICH THE WORK OCCURS SHALL BE LEFT IN A BROOM SWEEP, CLEAN CONDITION WITH ALL DEBRIS, CONSTRUCTION MATERIAL, TOOLS, ETC., REMOVED AT THE END OF THE ALLOWED TIME PERIOD. ANY DISRUPTED AREA OUTSIDE OF THE PROJECT AREA SHALL BE RETURNED IN ITS ORIGINAL CONDITION WHEN ALL WORK IS FINISHED IN THAT AREA. INTERIM WORK STOPPAGES SHALL LEAVE ANY WALL, CEILING OR FLOOR IN A SECURELY COVERED CONDITION.

2. VERIFY WITH BUILDING MANAGEMENT THE LOCATION WHERE ALL MATERIAL AND EQUIPMENT WILL BE DELIVERED AND REMOVED.

3. THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR HIS/HER REVIEW, PRIOR TO CONSTRUCTION ALL SHOP DRAWINGS REQUIRED, SAMPLES OF ALL FINISHES, SAMPLES OF ACTUAL COLORS, SAMPLES OF ALL MATERIALS THAT ARE MATCHING EXISTING MATERIALS AND SAMPLES OF ALL GLASS.

4. WHERE EXISTING CONSTRUCTION MATERIALS ARE REUSED AND NEW CONSTRUCTION MATERIALS ARE REQUIRED, NEW MATERIALS MUST MATCH EXISTING MATERIALS, IN THEIR ORIGINAL NEW CONDITION, EXCEPT WHERE REVIEWED AND APPROVED BY THE OWNER IN ADVANCE.

5. WHERE EXISTING WALLS ARE TO REMAIN AND NEW WALLS ARE CONSTRUCTED SO THEY ALIGN WITH EXISTING, CONTRACTOR SHALL PROVIDE THE SAME TEXTURE ON THE NEW WALL TO MATCH EXISTING WITH APPLICATION OF SCHEDULED FINISH ON WALLS. THERE SHALL NOT BE A NOTICEABLE DIFFERENCE BETWEEN FINISH ON EXISTING AND FINISH ON NEW WALLS.

6. CONTRACTOR SHALL INSTALL CONTINUOUS MATERIALS IN THE LONGEST OR LARGEST LENGTHS OR WIDTHS AVAILABLE UNLESS SPECIFICALLY NOTED OTHERWISE. SCRAP OR SHORT MATERIAL ARE NOT TO BE PIECED TOGETHER TO FORM LONG LENGTHS.

7. CONTRACTOR SHALL PROTECT THE SPACE BELOW FROM DAMAGE OR INJURY FROM FALLING DEBRIS ARISING FROM THE CONSTRUCTION ON THE FLOOR ABOVE. ALL DRILLING OR OTHER ACTIVITY WHERE THERE IS A POTENTIAL FOR FALLING DEBRIS SHALL BE DONE AFTER HOURS AND ONLY AFTER VERIFICATION THAT THE SPACE BELOW IS UNOCCUPIED.

8. PRIOR TO THE SHUT OFF OF EXISTING CIRCUIT BREAKERS, THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE BUILDING MANAGEMENT ANY PLANNED SHUT OFF EVEN IF CIRCUIT BREAKERS ONLY CONTROL WORK WITHIN CONSTRUCTION AREA.

9. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE OWNER'S BUILDING RULES AND REGULATIONS AND ENSURE COMPLIANCE DURING ALL PROJECT PHASES.

RCP LEGEND:

- DEMOL LIGHT SWITCH
- EXISTING LIGHT SWITCH
- LIGHT SWITCH
- 3-WAY LIGHT SWITCH
- DUAL SWITCH LIGHT FIXTURE SWITCH TO PROVIDE 2 LEVELS OF LIGHTING WITHIN EACH 2 TUBE FIXTURE
- DIMMER SWITCH
- OCCUPANCY SENSOR

- DEMOL LIGHT FIXTURE
- EXISTING 2X4 FIXTURE, TO REMAIN
- RELOCATED 2X4 FIXTURE

- WALL MOUNTED LIGHT SCONCE
- EXISTING RECESSED DOWN LIGHT
- NEW RECESSED DOWN LIGHT TO MATCH EXISTING
- SUPPLY AIR GRILLE
- RETURN AIR GRILLE
- SPEAKER
- EXISTING EMERGENCY EXIT SIGN
- NEW EMERGENCY EXIT SIGN

RCP NOTES:

1. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED EXISTING SUSPENDED CEILING SYSTEM PARTS DUE TO DEMOLITION
2. INSTALL HOLD DOWN CLIPS AT PERIMETER PARTITIONS AND FOR ALL CEILING TILES LESS THAN FULL SIZE. CABLE CONDUITS, ETC. SHALL NOT BE SUPPORTED BY CEILING STRUCTURE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF EXISTING MAIN TEES BEFORE COMMENCING WITH INSTALLATION OF LIGHT FIXTURES. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
4. PAINT ALL CEILING AIR GRILLES AND SLOT DIFFUSER TRIM EDGES WHITE TO MATCH ACOUSTICAL CEILING TILES. VERIFY WITH ARCHITECT.
5. USE ONE CONTINUOUS WALL PLATE WHERE MULTIPLE LIGHT SWITCHES AND/OR EXHAUST FAN SWITCHES OCCUR.
6. ALL WALL PLATES SHALL BE BUILDING STANDARD.
7. ACOUSTICAL TILE SHALL BE BUILDING STANDARD, ARMSTRONG 1728AN FINE FISSURED WHITE, UNLESS NOTED OTHERWISE.

FIRE PROTECTION NOTES:

1. FOR SPRINKLER FIRE PROTECTION FOR THIS SPACE, COMPLY WITH REQUIREMENTS NOTED ADJACENT TO THE BOX CHECKED. IF NO BOX IS CHECKED, CONTACT ARCHITECT FOR CLARIFICATION.

SPACE DOES NOT REQUIRE SPRINKLER FIRE PROTECTION

INSTALL & PROVIDE FIRE SPRINKLERS TO PROVIDE FULL COVERAGE PER NFPA 13.

SPACE IS CURRENTLY SPRINKLED. RENOVATED & ADD HEADS AS REQUIRED TO PROVIDE FULL COVERAGE PER NFPA 13.

GENERAL MECHANICAL NOTES:

1. CONTRACTOR TO REFER TO THE ENGINEERED MECHANICAL DESIGN DOCUMENTS FOR THE SCOPE OF WORK.

ELECTRICAL LEGEND:

NOTE: IF SYMBOLS BELOW HAVE A 'E' NEXT TO THEM IT DESIGNATES ITEM AS EXISTING.

- NEW BUILDING STANDARD DUPLEX CONVENIENCE OUTLET - 110 VOLTS
- NEW SPECIAL ELECTRICAL OUTLET: SEE PLANS FOR REQUIREMENTS
- NEW QUADRAPLEX CONVENIENCE OUTLET
- NEW DEDICATED DUPLEX CONVENIENCE OUTLET - 110 VOLTS
- NEW DUPLEX CONVENIENCE OUTLET W/ USB OUTLETS IN CENTER - 110 VOLTS
- NEW JUNCTION BOX, SEE PLANS FOR REQUIREMENTS
- NEW FLUSH FLOOR QUADRAPLEX OUTLET
- NEW FLUSH FLOOR TELEPHONE/DATA OUTLETS AND QUADRAPLEX ELECTRICAL OUTLET IN ONE CORE
- NEW FLUSH FLOOR TELEPHONE, DATA & POWER TO BE DISTRIBUTED IN WORKSTATIONS. COORDINATE WITH FURNITURE VENDOR/ INSTALLER AS NECESSARY (EACH WORK STATION TO GET (X) CAT 5e DATA LINES)
- NEW DATA/COMMUNICATIONS OUTLET WITH PULL STRING, RING AND/OR CONDUIT AS REQUIRED BY TENANT. COORDINATE WITH COMMUNICATIONS VENDOR
- NEW DATA/COMMUNICATIONS/CABLE OUTLET WITH PULL STRING, RING AND/OR CONDUIT AS REQUIRED BY TENANT FOR TELEVISIONS. PROVIDE & INSTALL (X) 5e AND (X) HDMI HOOKUP
- NEW DATA/COMMUNICATIONS OUTLET TO BE DISTRIBUTED IN WORKSTATIONS. COORDINATE WITH FURNITURE VENDOR/ INSTALLER AS NECESSARY (EACH WORK STATION TO GET X - 5e DATA LINES)
- CARD READER BY OTHERS - CONTRACTOR TO PROVIDE CONDUIT, RING AND STRING (MOUNT 42" TO HIGHEST OPERABLE PART, TYP.)
- INTERCOM BY OTHERS - CONTRACTOR TO PROVIDE CONDUIT, RING AND STRING (MOUNT 42" TO HIGHEST OPERABLE PART, TYP.)

POWER OUTLET STRIP

POWER POLE

INDICATES MOUNTING HEIGHT TO CENTER OF DEVICE FROM A.F.F. IF NO SYMBOL IS PROVIDED MOUNTING HEIGHT IS 17" A.F.F

1. BACK-TO-BACK ELECTRICAL OUTLETS AND TELEPHONE OUTLETS SHALL BE STAGGERED W/ A FULL HEIGHT STUD BETWEEN THEM TYPICALLY.

ACCESSIBLE ALARM NOTE:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND INTEGRATION INTO THE BUILDING ALARM SYSTEM OF ANY AUDIBLE EMERGENCY ALARMS AN/OR VISUAL ALARM SIGNAL APPLIANCES REQUIRED BY THE CITY OF HOUSTON, TEXAS ACCESSIBILITY STANDARDS AND THE AMERICANS WITH DISABILITY ACT.
2. AS REQUIRED BY NOTE 1, ALL AUDIBLE EMERGENCY ALARMS AND/OR VISUAL ALARM SIGNAL APPLIANCES TO BE WHITE AND INSTALLED ON THE CEILING THOUGH OUT THE SPACE, TYPICAL.

GENERAL ELECTRICAL NOTES:

1. CONTRACTOR TO REFER TO THE ENGINEERED ELECTRICAL DESIGN DOCUMENTS FOR THE SCOPE OF WORK.

RCP NOTES	04	ELECTRICAL NOTES	02
DEMOLITION PLAN NOTES:			
1. COORDINATE REMOVAL OF ITEMS WITH BUILDING MANAGEMENT.			
2. ANY UTILITY SHUT-OFFS MUST BE COORDINATED WITH THE BUILDING MANAGEMENT TO ENSURE NO INTERRUPTION IN UTILITY SERVICE.			
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF EVERYTHING THAT IS REQUIRED TO CONSTRUCT THE SPACES SHOWN ON THESE PLANS. THE DEMOLITION PLANS ARE SHOWN AS A GUIDE ONLY. IF ADDITIONAL DEMOLITION IS REQUIRED, IT IS AT THE CONTRACTOR'S SOLE EXPENSE. REFER TO GENERAL NOTES ON SHEET TA1.00.			
4. THE CONTRACTOR SHALL REMOVE EXISTING WALL FINISHES WHERE NEW FINISHES ARE SCHEDULED AND PREPARE WALLS TO RECEIVE NEW FINISHES, TYPICAL.			
5. THE CONTRACTOR SHALL REMOVE EXISTING FLOOR FINISHES WHERE NEW FINISHES ARE SCHEDULED, AND PREPARE FLOOR TO RECEIVE NEW FINISHES, LEVELING FLOOR AS REQ'D, TYPICAL. FLOOR SHALL BE LEVEL SUCH THAT EXISTING FLOOR DEFECTS DO NOT TELEGRAPH THROUGH NEW FLOOR FINISH. FLOOR PREPARATION IS SUBJECT TO ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.			
LEGEND:			
PARTITIONS ARE INDICATED ON THE PLAN THUSLY			
===== EXISTING PARTITION TO REMAIN			
=== == EXISTING PARTITION TO BE REMOVED			
GENERAL NOTES	05	DEMOLITION NOTES	03
NOT USED			01



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HARRIS COUNTY
APPRAISAL
DISTRICT

13013 NORTHWEST FREEWAY
HOUSTON, TX 77040

LEVEL 1

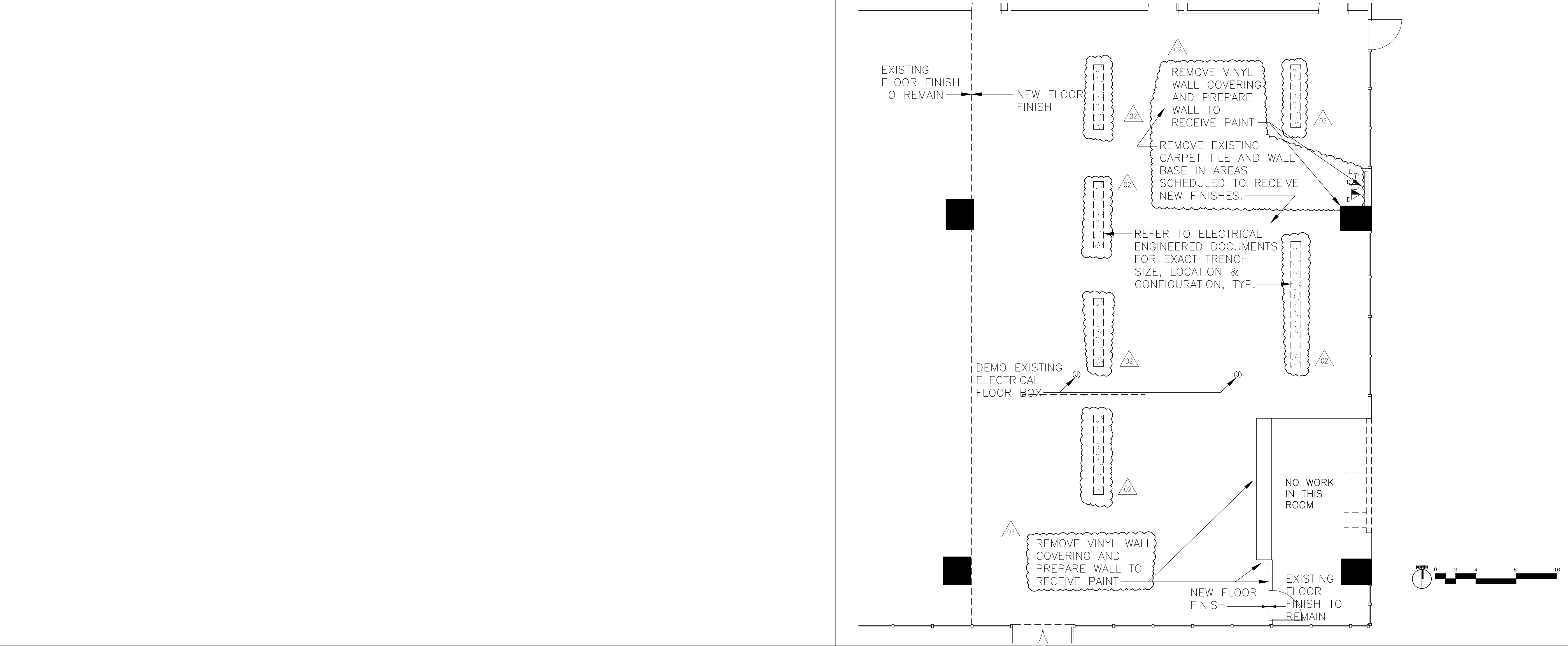


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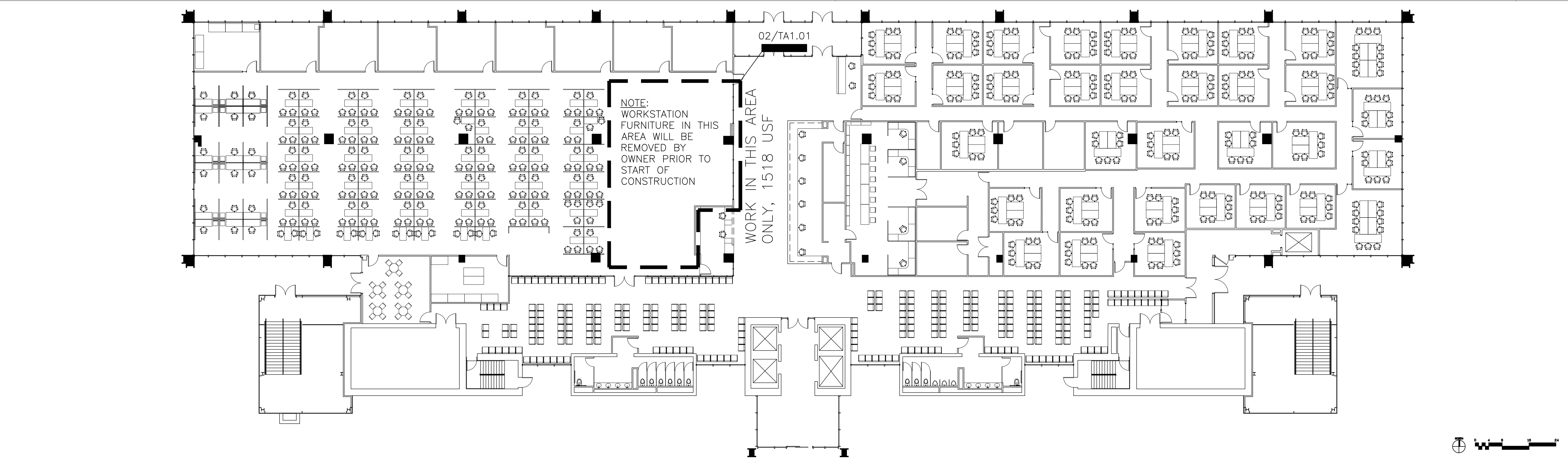
PROJECT NOTES

TA1.00

Y:\H0AD - 13013 NORTHWEST FREEWAY\LEVEL 1\21192) LV 1 WEST - SINGLE MEMBER ARB ROOMS\CD\S\TA1.00_H0AD_4-19-22.DWG



ENLARGED DEMOLITION FLOOR PLAN 3/16" = 1'-0" 02



DEMOLITION FLOOR PLAN 1/16" = 1'-0" 01



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DEMOLITION FLOOR PLAN
NOTES ON SHEET TA1.00

TA1.01

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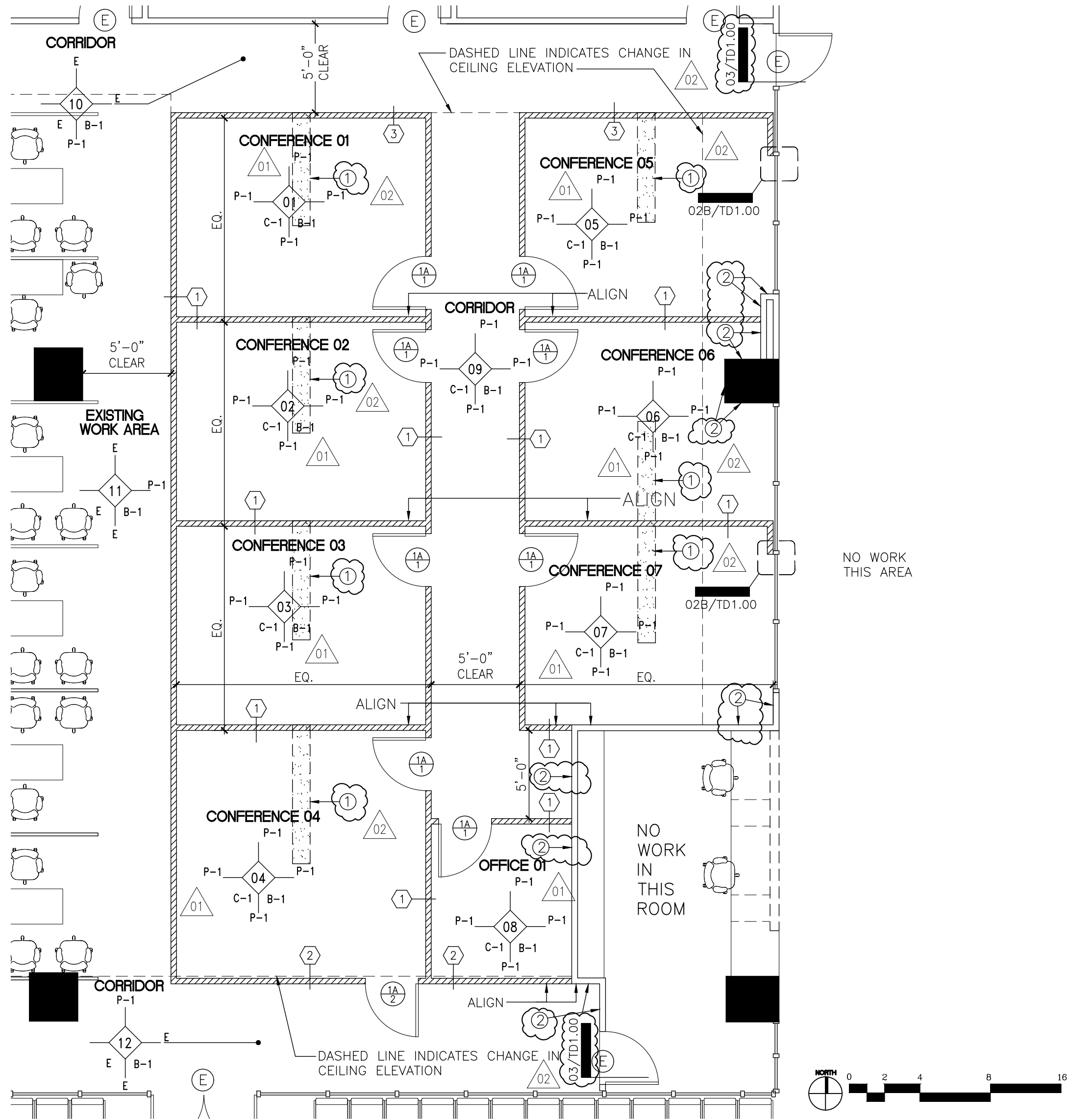
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LEVEL 1



ARCHITECTURAL FLOOR PLAN
NOTES ON SHEET TA1.00

TA1.02



PLAN NOTES:

- ① SHADED AREA DENOTES CONCRETE TRENCH, RE: STRUCTURAL TRENCHING DETAIL 01/S1.00
- ② EXISTING WALLS/PARTITIONS IN AREA OF WORK TO RECEIVE RACO PR-21 TRIM, TYP.

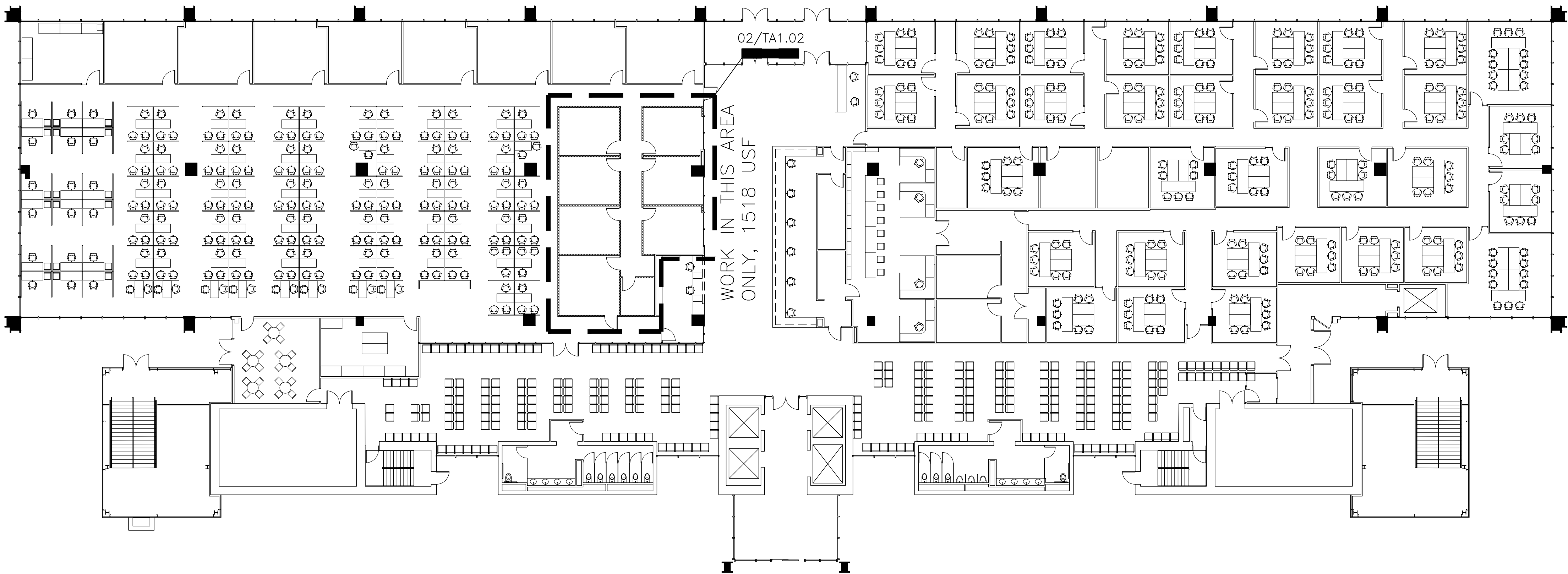
PLAN NOTES

04

ENLARGED ARCHITECTURAL FLOOR PLAN

$$3/16" = 1'-0"$$

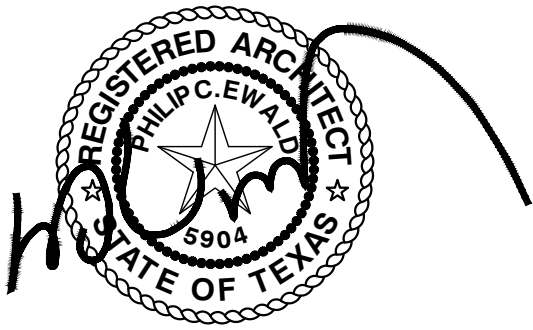
02



ARCHITECTURAL FLOOR PLAN

$$1/16'' = 1'-0''$$

01



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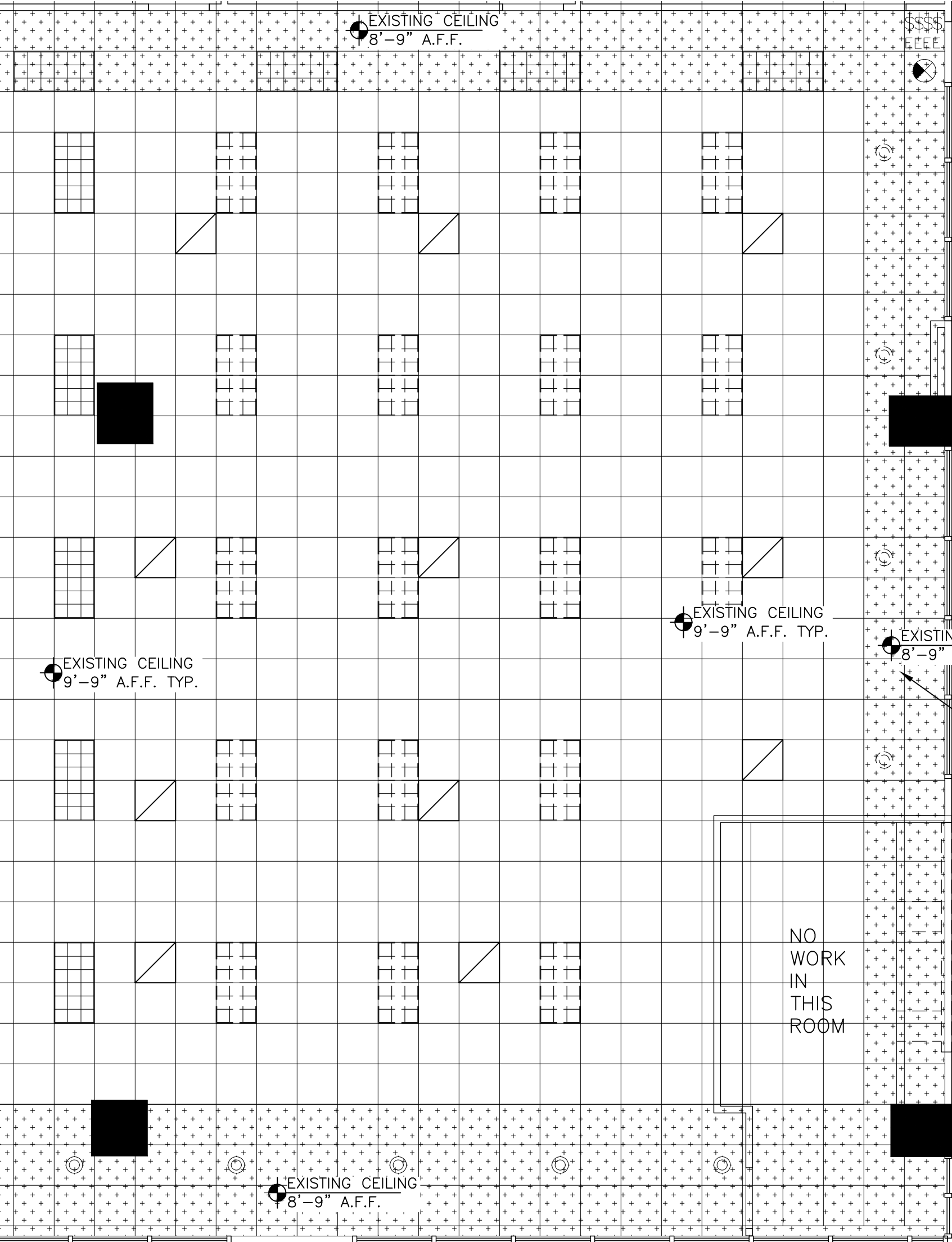
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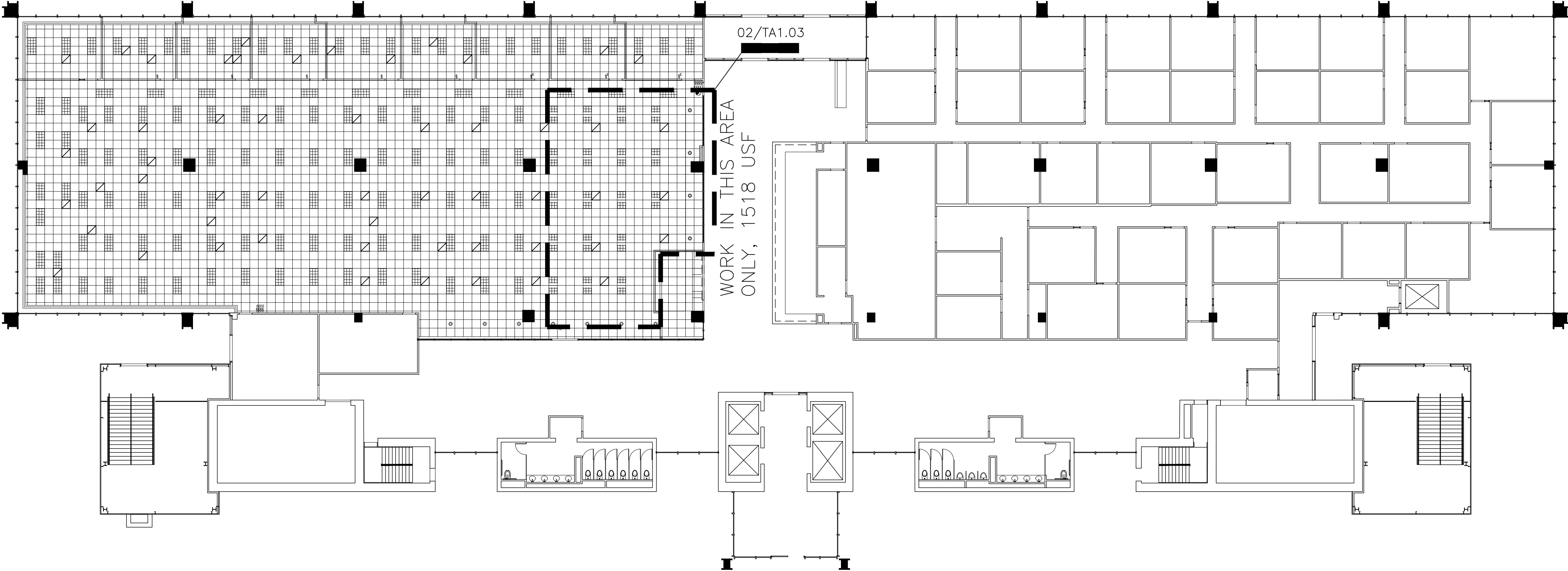
DEMOLITION REFLECTED
CEILING PLAN
NOTES ON SHEET TA1.00

TA1.03



ENLARGED DEMOLITION RCP

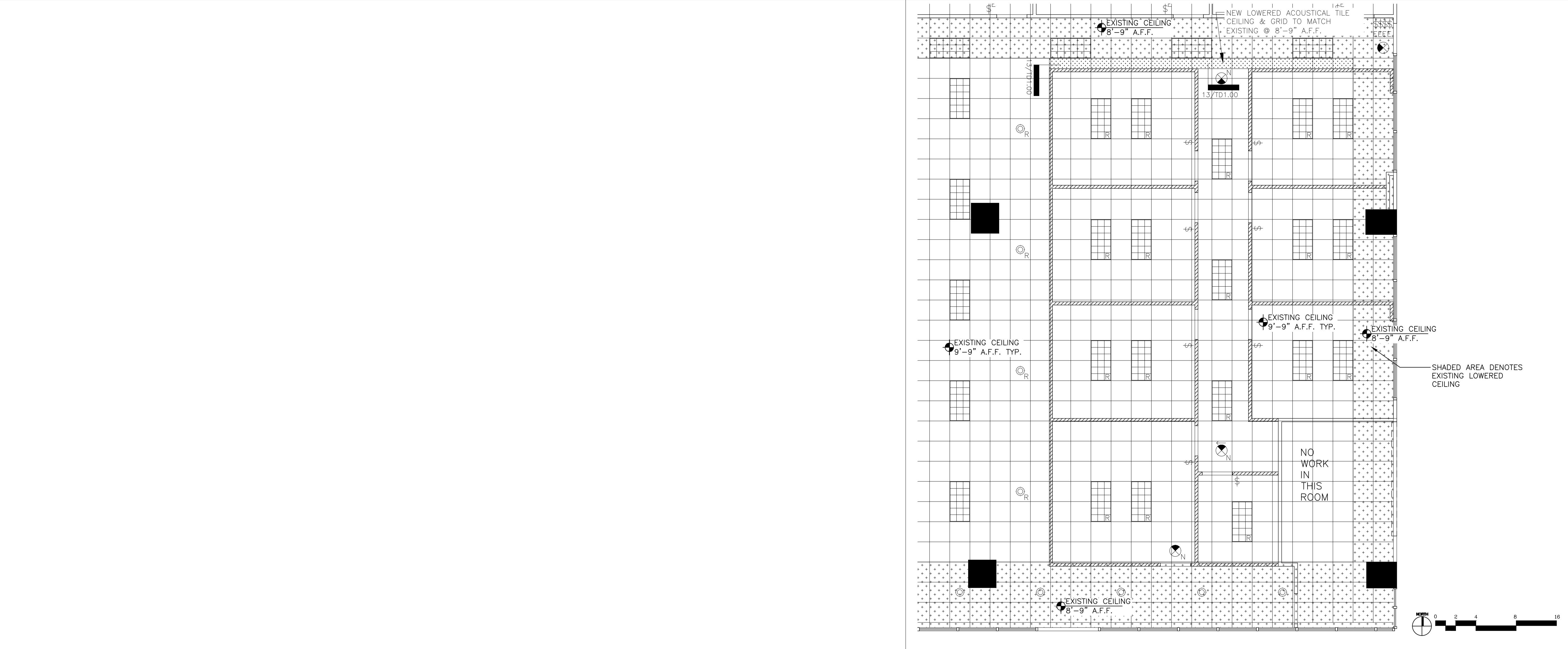
3/16" = 1'-0" 02



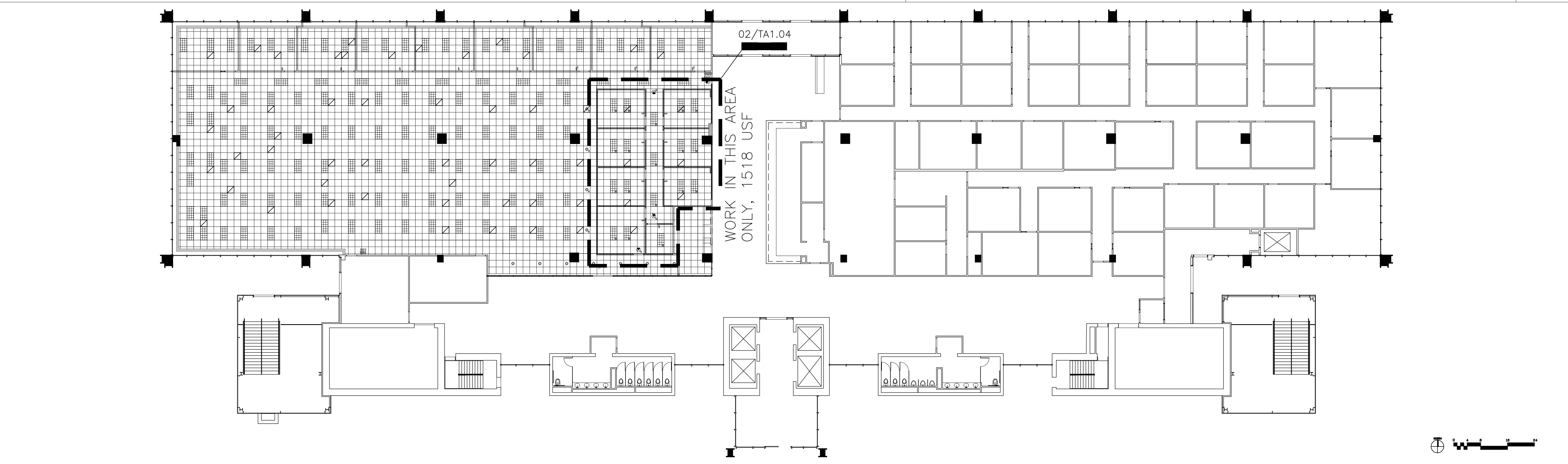
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1/16" = 1'-0" 01

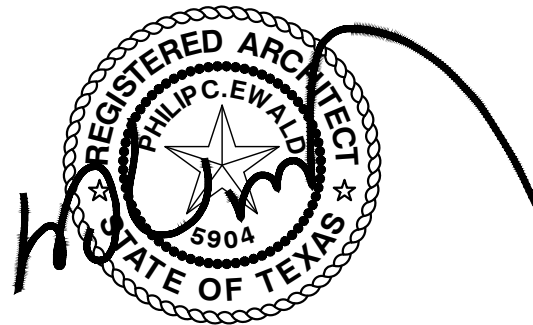
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ENLARGED REFLECTED CEILING PLAN 3/16" = 1'-0" 02



REFLECTED CEILING PLAN 1/16" = 1'-0" 01



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LEVEL 1

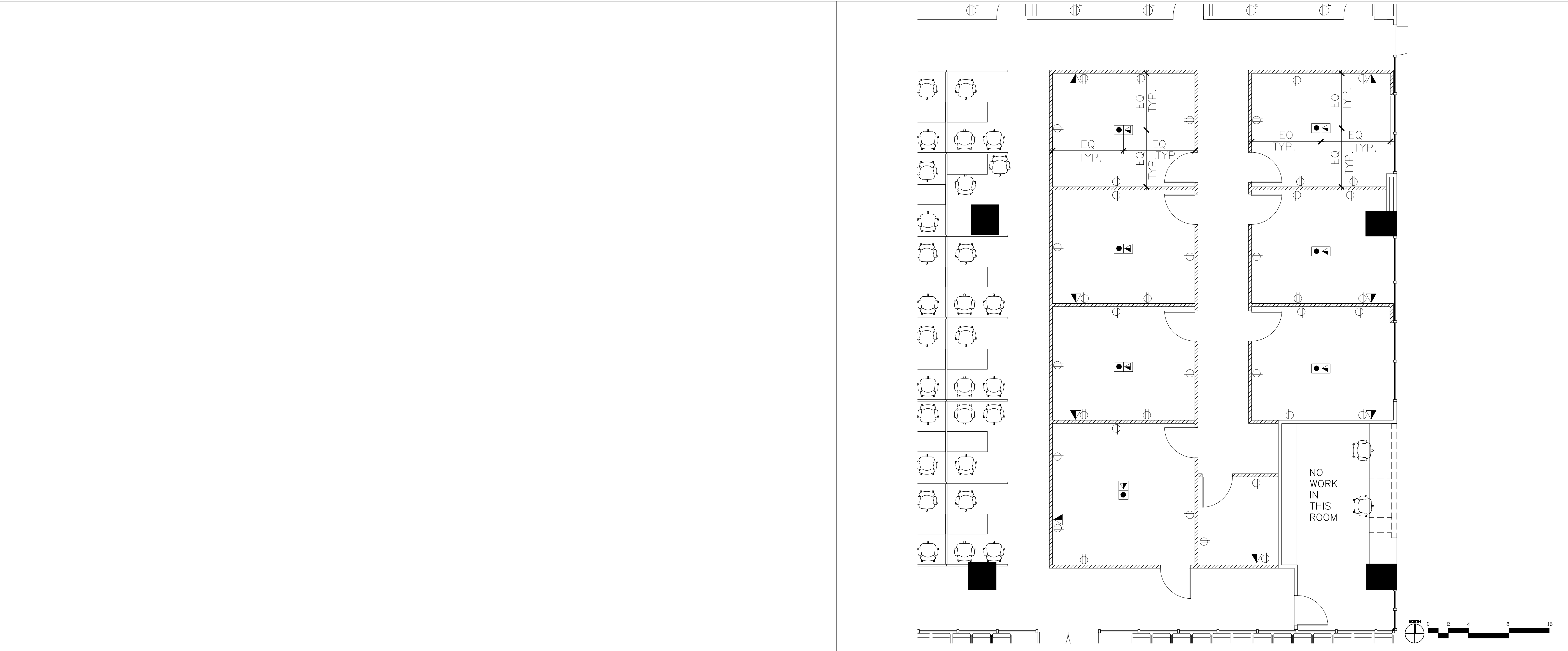


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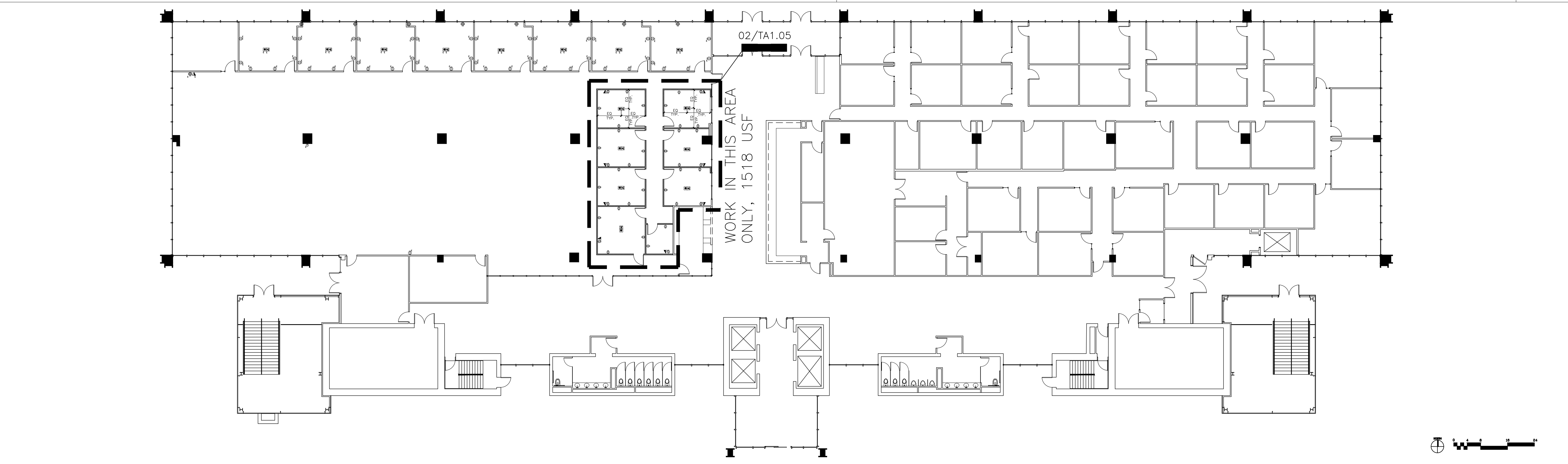
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NOTES ON SHEET TA1.00**

TA1.04

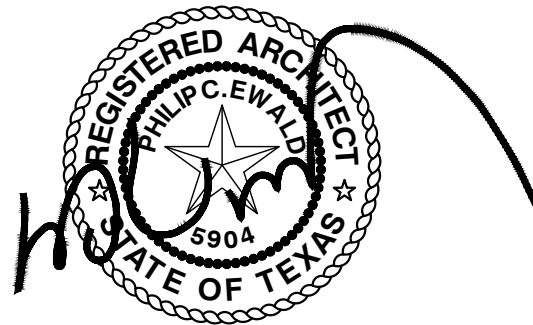
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ENLARGED ELECTRICAL, DATA/TELEPHONE FLOOR PLAN 3/16" = 1'-0" 02



ELECTRICAL, DATA/TELEPHONE FLOOR PLAN 1/16" = 1'-0" 01



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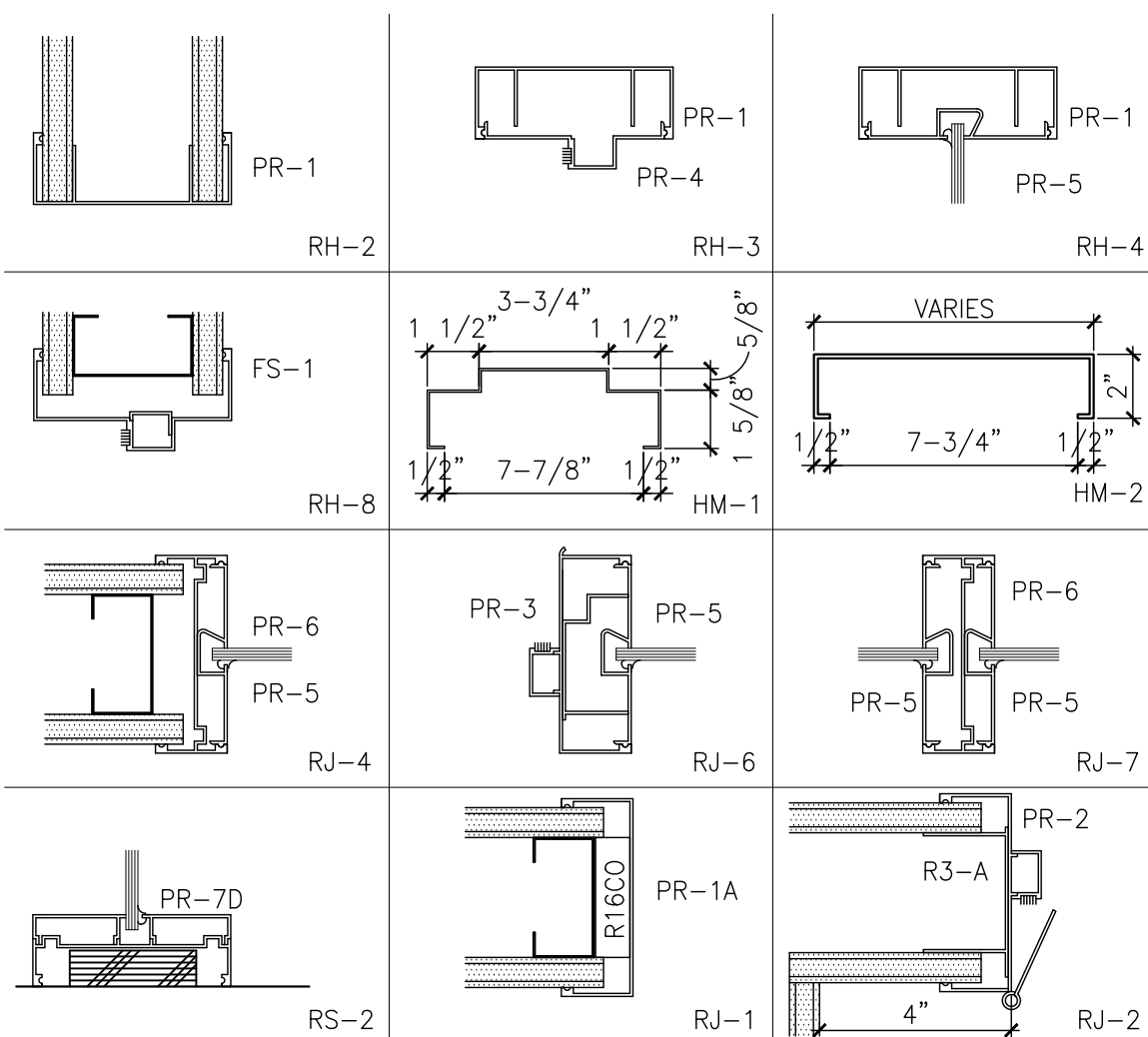
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**ELECTRICAL, DATA/TELEPHONE
FLOOR PLAN
NOTES ON SHEET TA1.00**

TA1.05

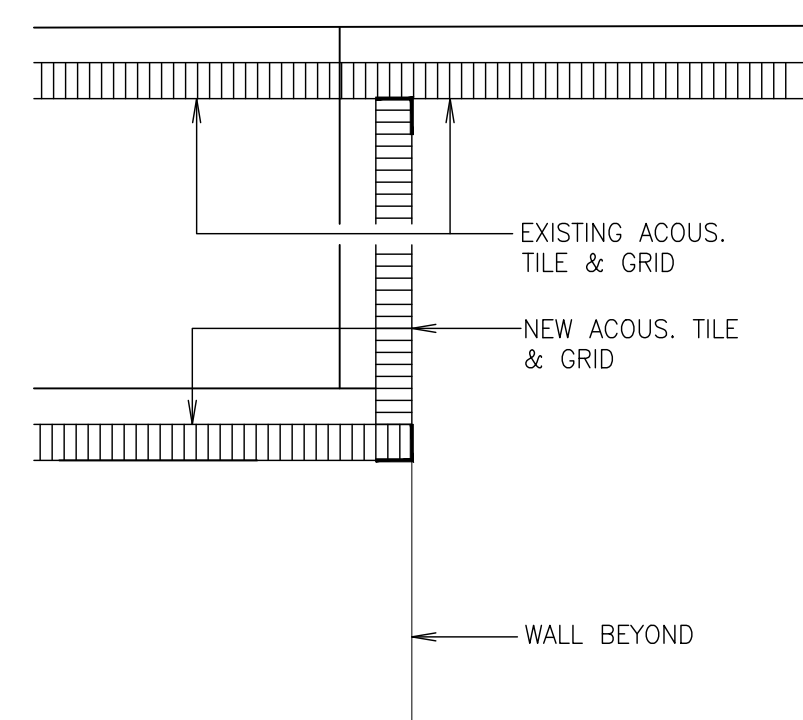


16



N.T.S

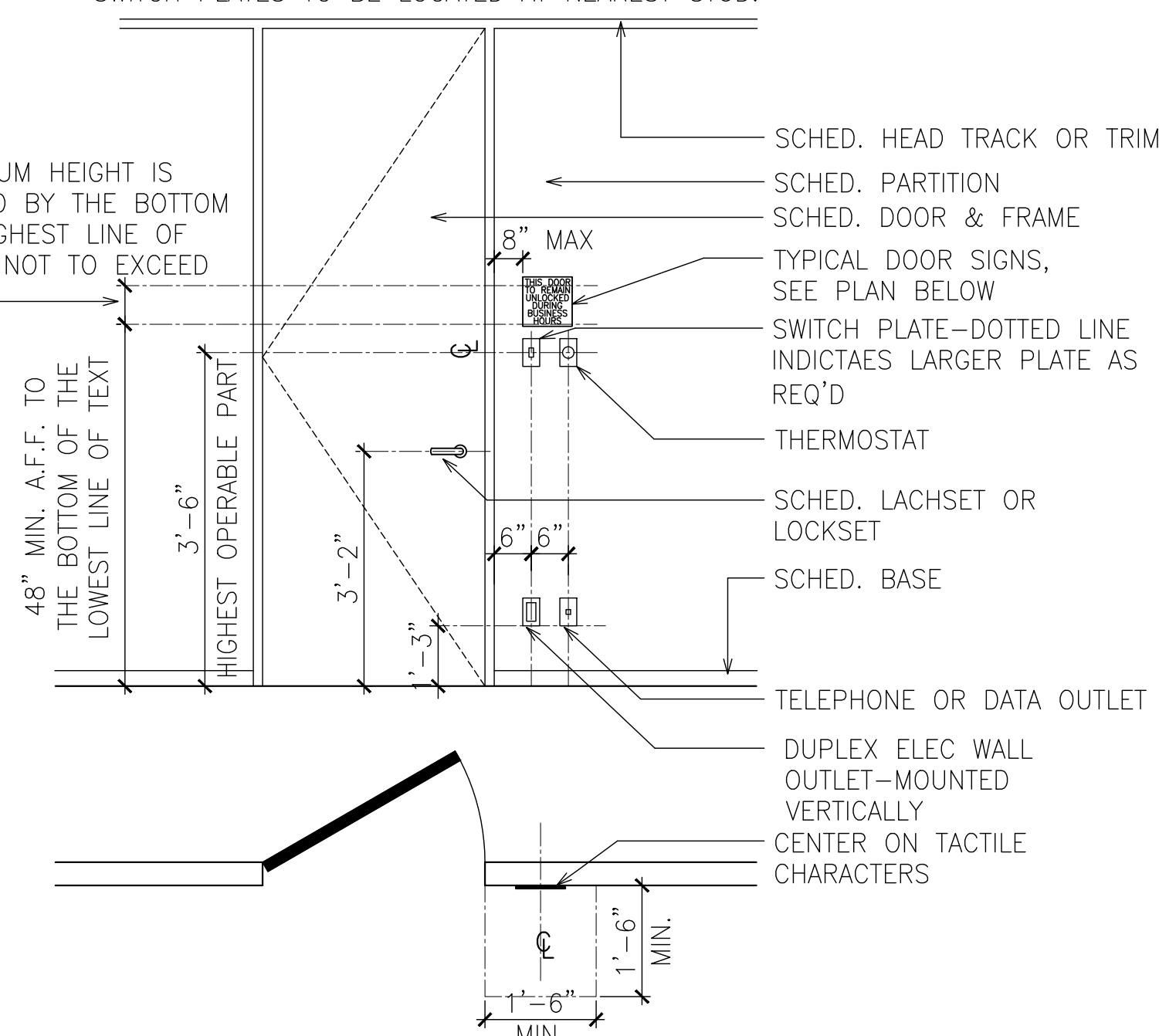
14



SECTION DETAIL @ CEILING GRID

13

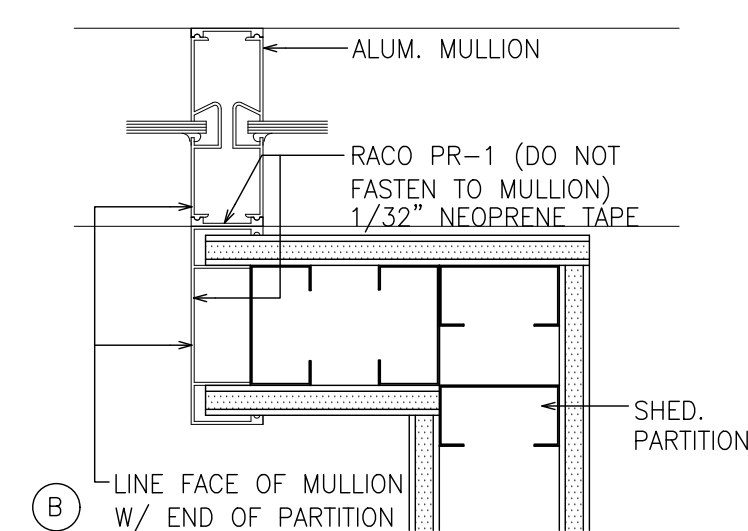
THE MAXIMUM HEIGHT IS
DETERMINED BY THE BOTTOM
OF THE HIGHEST LINE OF
TEXT, BUT NOT TO EXCEED
60" MAX.


$$1/2'' = 1'-0''$$

08

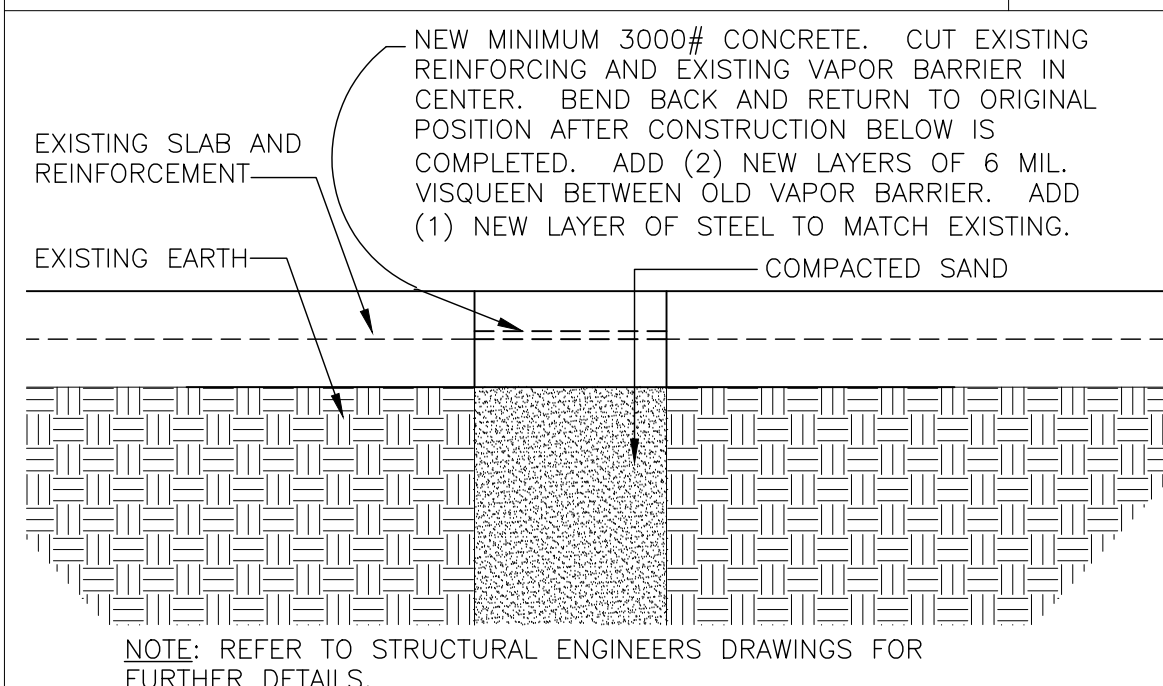


07


$$1\text{-}1/2'' = 1'\text{-}0''$$

02

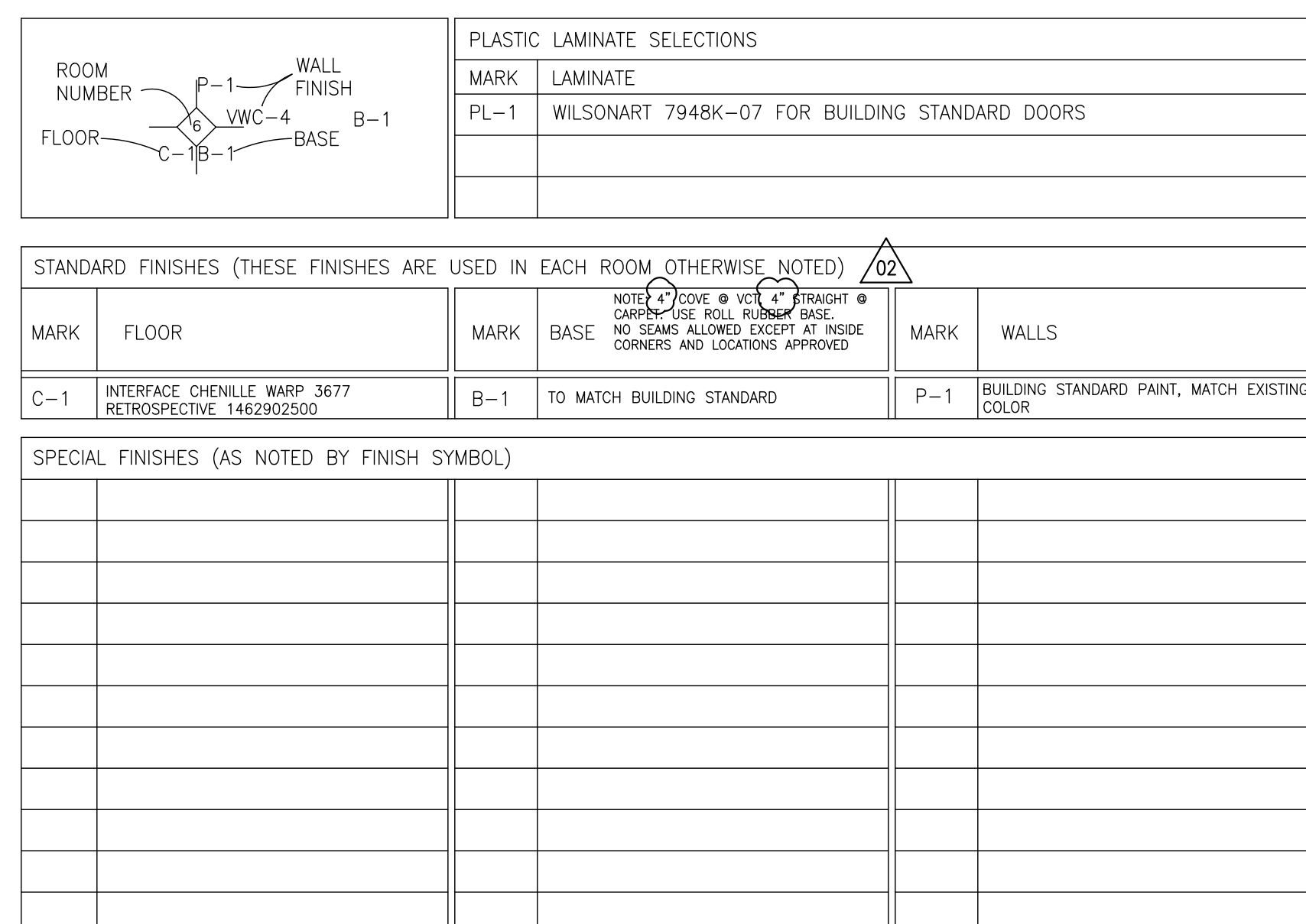
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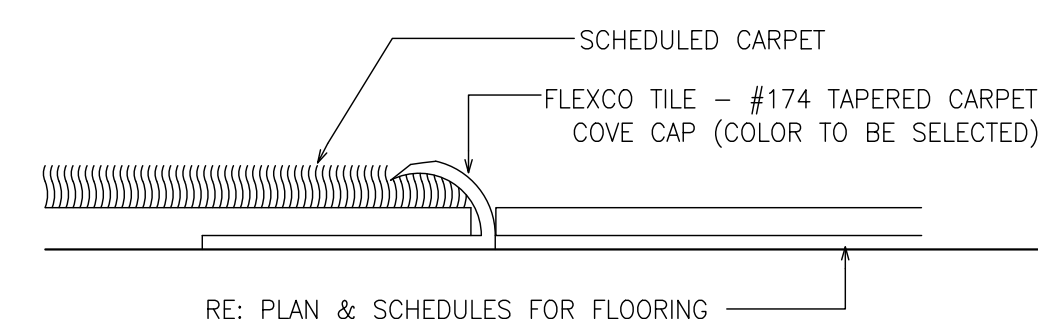
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TYPICAL PARTITION TYPES



ROOM FINISH SCHEDULE

04



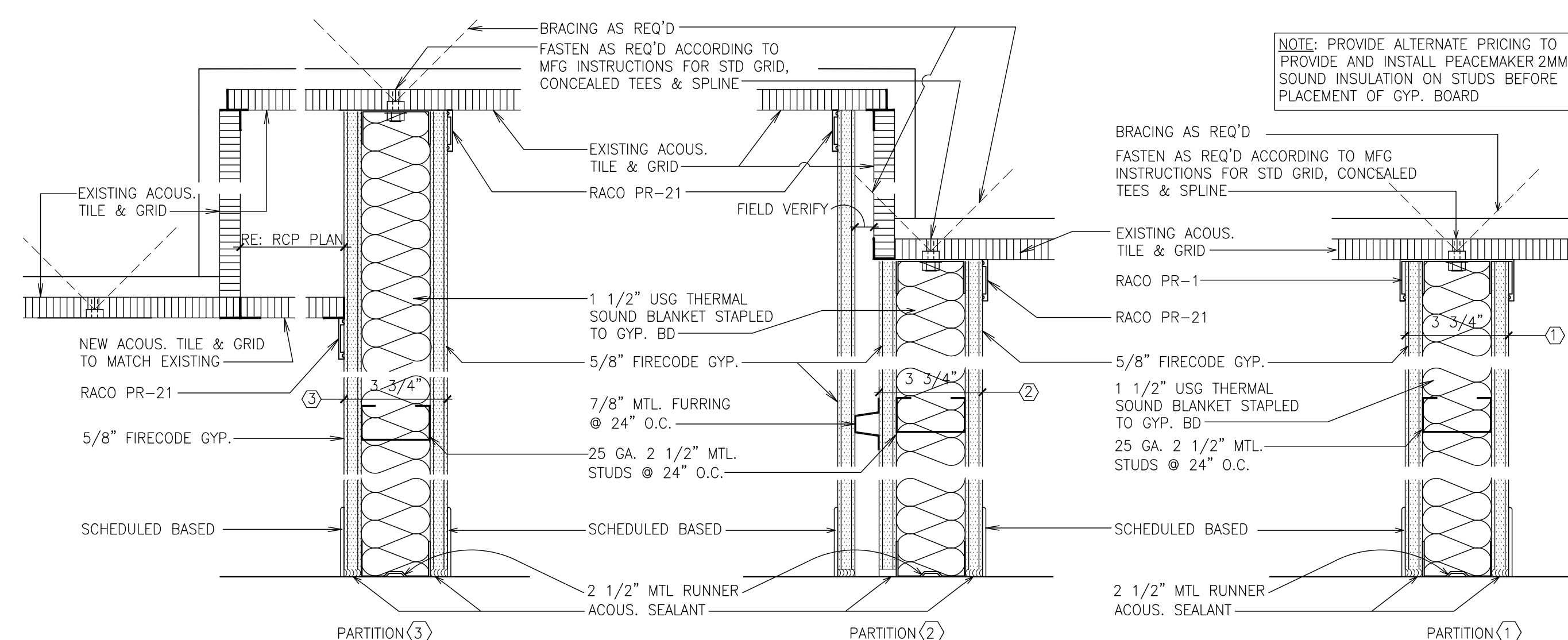
3" = 1'-0"

03

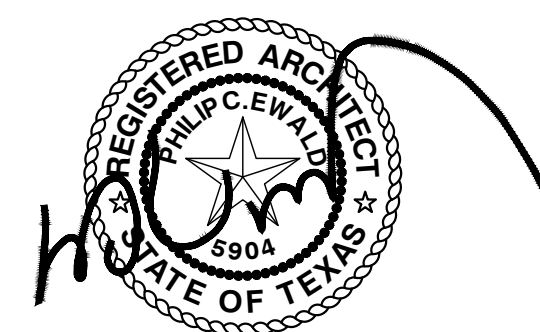
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LEVEL 1


$$3'' = 1'-0''$$

01



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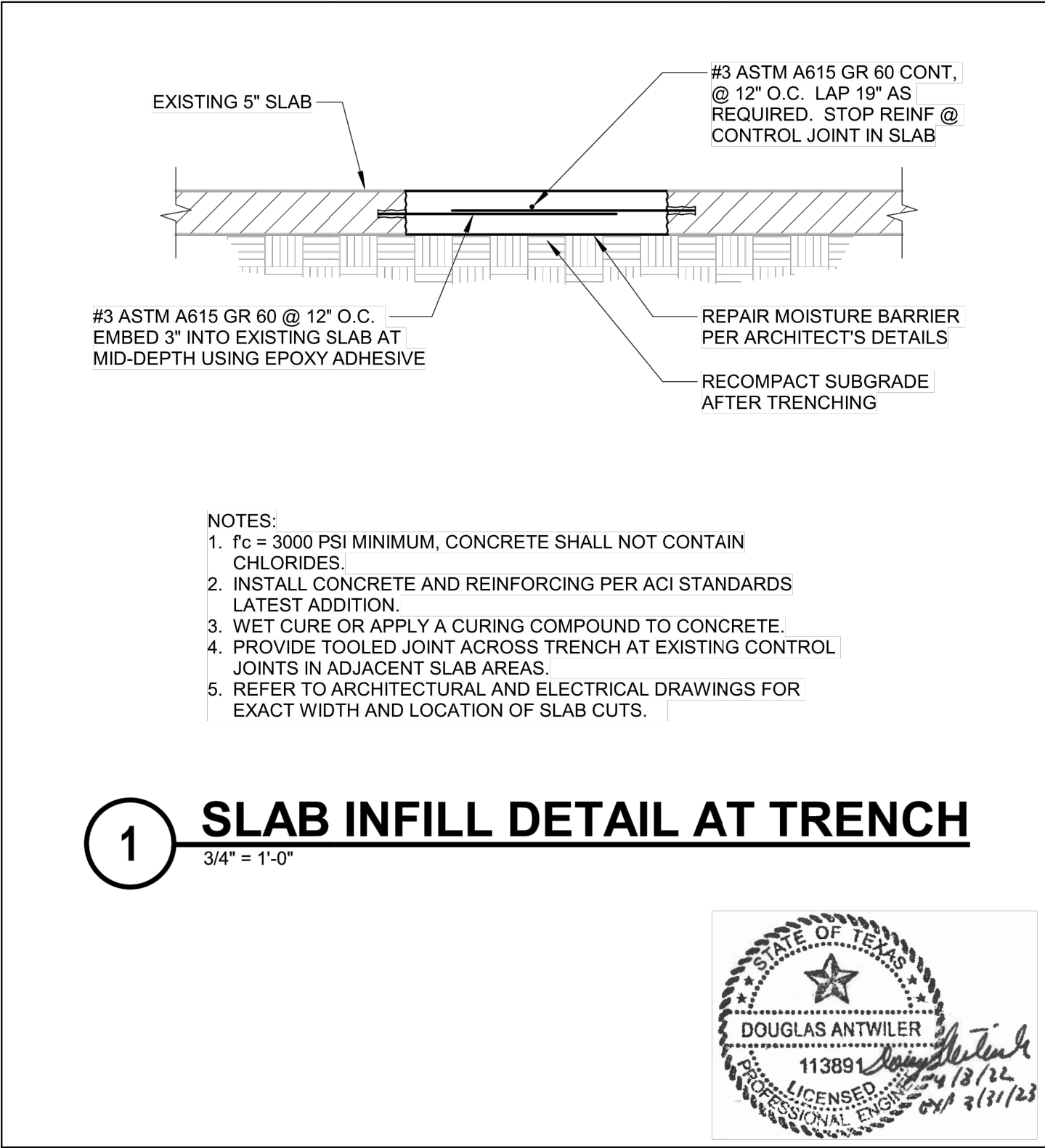
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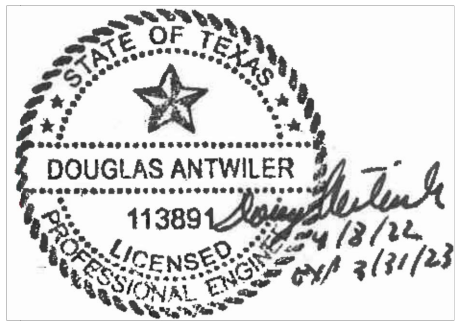
3	03/17/22	ISSUE FOR BID REVISION
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4	04/14/22	ISSUE FOR BID & PERMIT	02
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TD1.00



1 SLAB INFILL DETAIL AT TRENCH
3/4" = 1'-0"



Drawn	DR	Date	04-07-22	SHEET TITLE SLAB INFILL DETAIL AT TRENCH		ISSUE		SHEET NUMBER	
Checked	DGA	Scale	3/4" = 1'-0"	 IMEG 3700 W SAM HOUSTON PKWY S SUITE 100 HOUSTON, TX 77042 713-866-1551 FAX: 713-862-6441 www.imegcorp.com Texas Firm Registration No. F-19832 Job Number 22001844		Project Status		REVISIONS No. Date Revision / Issue	SHEET NUMBER S1.00 4/7/2022 11:15:17 AM
						HARRIS COUNTY APPRAISAL DISTRICT 13013 NORTHWEST FREEWAY HOUSTON, TX. 77040			

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MECHANICAL GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN A CLEAN AND WORKMANLIKE MANNER. CARE SHALL BE EXERCISED TO MINIMIZE ANY INCONVENIENCE OR DISTURBANCE TO OTHER AREAS OF THE BUILDING WHICH ARE TO REMAIN IN OPERATION. ISOLATE WORK AREAS BY MEANS OF TEMPORARY PARTITIONS AND/OR TARPS TO KEEP DUST AND DIRT WITHIN THE CONSTRUCTION AREA.

2. NO PIPING, EQUIPMENT, ETC. SHALL BE REMOVED, DISCONNECTED OR SHUT DOWN WITHOUT PRIOR REVIEW WITH THE LANDLORD AND/OR ENGINEER TO CONFIRM THAT AREAS TO REMAIN IN OPERATION WILL NOT BE AFFECTED. IF ANY AREAS NOT WITHIN THE SCOPE OF WORK ARE AFFECTED BY ANY SHUTDOWN, REMOVAL OR DISCONNECTION, SUFFICIENT ADVANCE NOTICE MUST BE GIVEN TO THE LANDLORD INDICATING WHICH AREAS WILL BE AFFECTED, WHEN THE PROPOSED SHUTDOWN WILL OCCUR, AND FOR HOW LONG A PERIOD OF TIME.

3. ALL ITEMS REMOVED SHALL BECOME PROPERTY OF THE LANDLORD AND SHALL BE DISPOSED OF AS PER THE LANDLORD'S INSTRUCTIONS, UNLESS INDICATED OTHERWISE. ALL ITEMS WHICH ARE NOT TO BE STORED ON SITE BY OWNERS SHALL BE REMOVED FROM THE BUILDING IMMEDIATELY.

4. THIS CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. WHERE DISCREPANCIES OCCUR BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS, THE DISCREPANCY SHALL BE REPORTED TO THE LANDLORD AND/OR ENGINEER FOR EXPEDITING AND THE RESOLUTION.

5. CLEAN THE JOB SITE DAILY AND REMOVE FROM THE PREMISES ANY DIRT AND DEBRIS CAUSED BY THE PERFORMANCE OF THE WORK INCLUDED IN THIS CONTRACT.

6. USE OF THE LANDLORD'S ELEVATORS AND BUILDING CORRIDORS FOR HANDLING OF THE LANDLORD'S AND REMOVED EQUIPMENT AND MATERIALS SHALL BE AT THE DIRECTION OF THE LANDLORD AND SHALL BE COORDINATED WITH HIS OPERATIONS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF HIS OWN PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY FOR PROTECTION OF PROPERTIES AGAINST FIRE, THEFT AND ENVIRONMENTAL CONDITIONS.

8. EXISTING MATERIALS THAT ARE REMOVED SHALL NOT BE REUSED IN NEW SYSTEMS, EXCEPT WHERE INDICATED AS BEING RELOCATED.

9. PROVIDE ALL NECESSARY TEMPORARY OR PERMANENT CAPS OR PLUGS FOR PIPING. DO NOT LEAVE PIPING OPEN ENDED.

10. WHERE USED, THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL".

11. THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH THE LANDLORD AND ALL OTHER TRADES PRIOR TO FABRICATION, PURCHASE AND/OR INSTALLATION OF ALL WORK.

12. SUBMISSION OF PROPOSAL DIRECTLY OR INDIRECTLY IN CONNECTION WITH THIS WORK SHALL IMPLY THAT THE BIDDER HAS EXAMINED THE JOB SITE UNDER WHICH HE WILL BE OBLIGATED TO OPERATE SHOULD HE BE AWARDED THE WORK UNDER THIS CONTRACT. NO EXTRA CHARGE WILL BE ALLOWED FOR FAILURE OF ANY BIDDER TO EXAMINE THE SITE PRIOR TO BID.

13. ALL WORK SHALL CONFORM TO ALL STATE AND LOCAL CODES, RULES AND REGULATIONS AND ORDINANCES.

14. CONTRACTOR SHALL SECURE AND PAY ALL FEES AND PERMITS PERTAINING TO THE CONTRACT.

15. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. THE
- CONTRACTOR SHALL PROVIDE ALL HANGERS AND SUPPORTS REQUIRED FOR A COMPLETE INSTALLATION.

16. CONTRACTOR SHALL BE RESPONSIBLE FOR WORKMEN'S IDENTIFICATION AND BADGING, SAFETY AND FIRE PROTECTION, CONTRACTOR'S LIABILITY INSURANCE, BARRICADES, WARNING SIGNS, TRASH REMOVAL, CUTTING AND PATCHING.

17. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RIGGING, HANDLING AND PROTECTION OF MATERIALS.

18. CONTRACTOR SHALL PROVIDE LABOR TO RECEIVE, UNLOAD, STORE, PROTECT AND TRANSFER TO POINT OF INSTALLATION, OWNER FURNISHED ITEMS.

19. WHERE CONDUIT, CABLES, DUCTWORK OR PIPING PASSES THROUGH FIRE RATED FLOORS OR WALLS, THE SLEEVES SHALL BE COMPLETELY SEALED WITH A FIRE STOP MATERIAL THAT IS UL LISTED AND ACCEPTED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT AS BEING SUITABLE FOR THIS SERVICE.

20. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING AS IT RELATES TO HIS WORK.

21. CONTRACTOR SHALL REFER TO BUILDING MANAGEMENT'S RULES AND REGULATIONS TO COMPLY WITH BUILDING STANDARDS.

22. FLEXIBLE DUCTWORK LENGTHS SHALL NOT EXCEED 5'-0". USE INSULATED RIGID ROUND DUCTWORK WHERE REQUIRED. ALL NEW FLEXIBLE DUCTWORK CONNECTIONS TO AIR DEVICES SHOWN ON THE DRAWING SHALL BE SIZED ACCORDING TO THE NECK SIZE SCHEDULE.

23. THE ENTIRE AIR SUPPLY SYSTEM SHALL BE RE-BALANCED TO THE AIR QUANTITIES INDICATED ON THIS DRAWING BY AN INDEPENDENT AIR BALANCE CONTRACTOR. THE AIR BALANCE CONTRACTOR SHALL SUBMIT NEBB CERTIFIED AIR BALANCE REPORTS FOR ENGINEERING REVIEW AND TO BUILDING MANAGEMENT. PROVIDE AHU DRIVE ADJUSTMENTS AS REQUIRED.

24. REFER TO DRAWING MEP FOR SPECIFICATIONS THAT APPLY TO THIS SHEET.

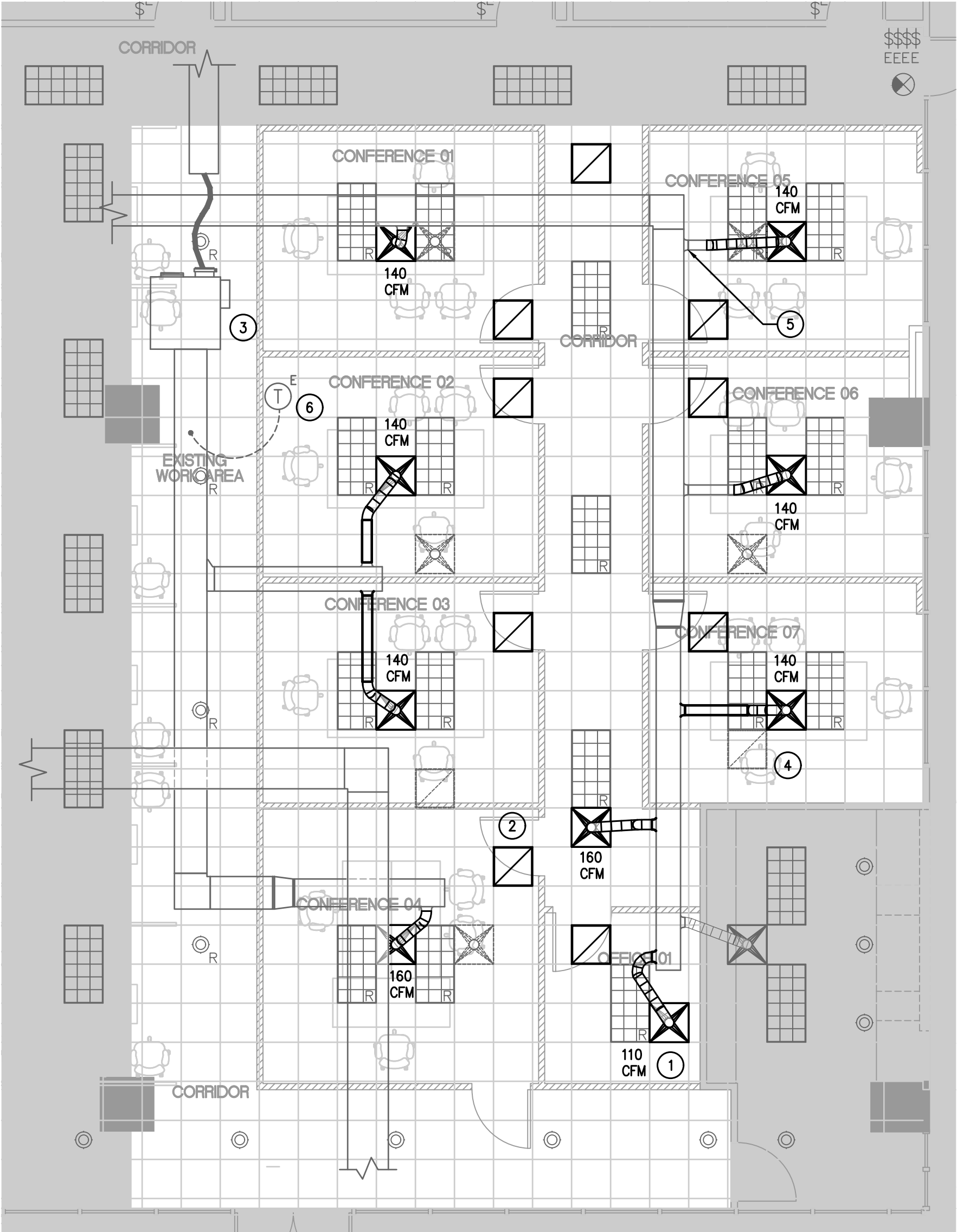
25. CONTRACTOR SHALL VERIFY THAT SUFFICIENT RETURN AIR OPENINGS ARE PROVIDED IN EXISTING WALLS ABOVE CEILING. AIR IS RETURNED TO THE CEILING PLENUM AND THEN TO THE AIR HANDLING UNITS THROUGH RETURN AIR GRILLES, ARCHITECTURAL CEILING OPENING AND LIGHT FIXTURES.

26. EXISTING TAPS TO SUPPLY DUCTWORK SHALL BE USED WHERE POSSIBLE. ANY UNUSED TAPS TO EXISTING SUPPLY DUCTWORK SHALL BE CAPPED, SEALED AIRTIGHT, AND INSULATED.

27. EXISTING MAIN TRUNK SUPPLY DUCTWORK SHALL REMAIN. CONTRACTOR SHALL VERIFY EXISTING LOCATION AND LIGHTING FIXTURE CLEARANCES AND INCLUDE IN THEIR COST THE RELOCATION OR REMOVAL OF EXISTING EQUIPMENT REQUIRED TO COMPLY WITH THIS DRAWING.

28. CONTRACTOR SHALL PROVIDE TO BUILDING OWNER THE AS-BUILT RECORD DRAWINGS AND THE OPERATING AND MAINTENANCE MANUALS WITHIN 90 DAYS OF SYSTEMS ACCEPTANCE. RECORD DRAWINGS SHALL INCLUDE PERFORMANCE DATA FOR EQUIPMENT, DUCT AND PIPE DISTRIBUTION SYSTEMS, AND AIR AND WATER FLOW RATES. O&M MANUALS SHALL INCLUDE EQUIPMENT AND ASSOCIATED OPTIONS REQUIRING SERVICE, REQUIRED MAINTENANCE ACTIVITIES, CONTACT INFO OF SERVICE AGENCIES, HVAC CONTROLS CALIBRATION INFORMATION AND SET-POINTS, AND DESCRIPTION OF EQUIPMENTS' INTENDED OPERATIONS.

29. FOR RETURN AIR PLENUMS, ALL MATERIALS LOCATED WITHIN A RETURN AIR PLENUM SHALL BE RATED AND APPROVED FOR INSTALLATION IN A RETURN AIR PLENUM.



MECHANICAL KEYED NOTES:

1. PROVIDE NEW 24" X 24" SUPPLY AIR DEVICE AT LOCATION INDICATED. BALANCE TO CFM INDICATED. SEE SCHEDULE AND DETAILS. TYPICAL.

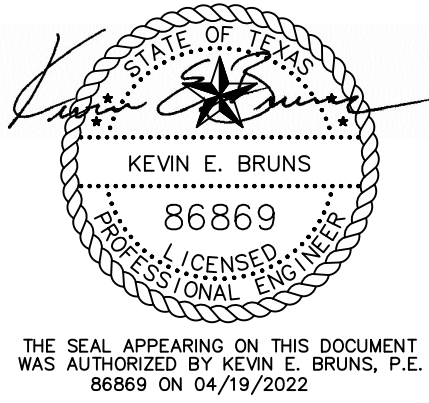
2. PROVIDE NEW 24" X 24" RETURN AIR GRILLE AT LOCATION INDICATED. SEE SCHEDULE AND DETAILS. TYPICAL.

3. EXISTING DUAL DUCT BOX TO REMAIN. CLEAN AND REPAIR TO GOOD WORKING CONDITION. REPAIR IF DAMAGED. NOTIFY OWNER AND ARCHITECT IF UNIT CANNOT BE REPAIRED. TYPICAL.

4. DEMOLISH EXISTING SUPPLY/RETURN AIR DEVICE.TYPICAL.

5. INSURE TAP FROM EXISTING DUCT TO NEW SUPPLY DEVICES HAS CORRECT NECK SIZE. SEE SCHEDULE AND DETAILS. TYPICAL.

6. RELOCATE EXISTING THERMOSTAT TO LOCATION INDICATED. COORDINATE EXACT LOCATION WITH ARCHITECT. CLEAN AND REPAIR TO GOOD WORKING CONDITION. CONTRACTOR TO FIELD VERIFY FOR EXACT THERMOSTAT. REPAIR OR REPLACE IF DAMAGED. CLEAN AND RE-CALIBRATE TO APPEAR IN LIKE NEW CONDITION. TYPICAL.

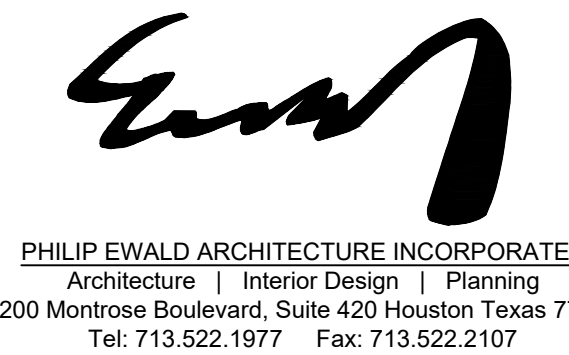


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1 04/19/22 ISSUE FOR BID/PERMIT

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13013 NORTHWEST FREEWAY
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LEVEL 1



MECHANICAL PLAN

TM1.01

AIR DEVICE SCHEDULE			
MARK	MANUF. + MODEL	TYPE	REMARKS
☒	TITUS PCS OR EQUAL	CEILING SUPPLY	24x24 PERFORATED FACE. FACE SHALL BE ALUMINUM WITH A STEEL BACK PAN. PROVIDE AIR PATTERN CONTROLS. FACE AND FRAME SHALL HAVE AN OFF-WHITE ENAMEL FINISH. BACK PAN INTERIOR SHALL BE PAINTED FLAT BLACK. COORDINATE CEILING MOUNTING TYPE WITH ARCHITECTURAL CEILING TYPE. PROVIDE REMOTE DAMPER OPERATORS IN AREAS WITH INACCESSIBLE CEILINGS.
☑	TITUS PAR OR EQUAL	CEILING RETURN	24x24 PERFORATED FACE. FACE SHALL BE ALUMINUM WITH A STEEL BACK PAN. FACE AND FRAME SHALL HAVE AN OFF- WHITE ENAMEL FINISH. COORDINATE CEILING MOUNTING TYPE WITH ARCHITECTURAL CEILING TYPE.
DIFFUSER NECK SIZE SCHEDULE			
CFM RANGE	SQUARE NECK SIZE	ROUND NECK SIZE	
0 – 120	6 X 6	6"Ø	
125 – 220	8 X 8	8"Ø	
225 – 330	10 X 10	10"Ø	
335 – 450	12 X 12	12"Ø	
455 – 530	15 X 15	14"Ø	
540 – 700	16 X 16	16"Ø	

OUTSIDE AIR ANALYSIS			
OUTSIDE AIR SHALL BE PROVIDED IN ACCORDANCE WITH THE 2012 INTERNATIONAL MECHANICAL CODE PER TABLE 402.1.			
$(R_p \times P_z) + (R_a \times A_z) = V_{bz}$			
CONFERENCE/OFFICE : (5 CFM/PER x 8 PPL) + (0.06 CFM/SQFT x 1279 SQFT) = 117 CFM			
CORRIDOR: (- CFM/PER x - PPL) + (0.06 CFM/SQFT x 229 SQFT) = 14 CFM			
TOTAL			= 131 CFM
OVERALL: $V_{bz} / Ez = V_{oz}$			
131 CFM / 1 = 131 CFM			
TOTAL OUTSIDE AIR REQUIRED			= 131 CFM
TOTAL OUTSIDE AIR PROVIDED			= 135 CFM

INSULATED FLEXIBLE DUCT. 8'-0" MAXIMUM LENGTH. WHERE LONGER RUNS ARE REQUIRED PROVIDE RIDGID ROUND DUCT. FLEX DUCT SIZE SHALL MATCH NECK SIZE.

SPIN-IN WITH VOLUME DAMPER.

SUPPLY DUCT WITH EXTERNAL INSULATION.

SEAL TAP WITH HARD CAST AT CONNECTION.

STAINLESS STEEL WORM DRIVE CLAMP ON LINER. OUTER JACKET SHALL BE SECURED WITH VAPOR BARRIER TAPE.

REMOTE REGULATOR WHERE REQUIRED.

CEILING

6

NOTES:

1. CEILING DIFFUSER SHALL BE INSTALLED SUCH THAT THE FACE OF DIFFUSER IS FLUSH WITH CEILING. REFER TO AIR DEVICE SCHEDULE FOR EXACT DEVICE.

2. SUPPORT FLEXIBLE DUCT FROM STRUCTURE. FLEXIBLE DUCT SHALL NOT KINK, SAG OR REST ON LIGHT FIXTURE, CEILING SUPPORT "TEES" OR CEILING TILE.

3. PROVIDE SQUARE TO ROUND TAP AT BRANCH DUCT WHERE FLEXIBLE DUCT SIZE EXCEEDS DIMENSION OF RECTANGULAR DUCT.

4. FOR UNCONDITIONED CEILING PLENUMS, INSULATE BACK OF CEILING DIFFUSER WITH 1" DUCT WRAP AND SEAL WITH VAPOR BARRIER TAPE.

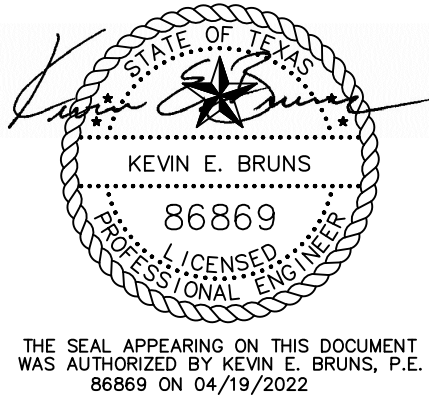
5. METALLIC FLEXIBLE DUCT SHALL BE USED WHERE FLEXIBLE DUCT CONNECTIONS ARE SHOWN ON THE DRAWING TO ALL AIR DEVICES INSTALLED IN INACCESSIBLE LOCATIONS SUCH AS ABOVE GYPSUM BOARD OR PLASTER CEILINGS. (REFER TO ARCH. DRAWINGS FOR CEILING TYPE.)

6. CEILING "TEE" OR DRYWALL TRIM PIECE BY OTHERS.

CEILING DIFFUSER

SCALE: NONE

01



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HARRIS COUNTY
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13013 NORTHWEST FREEWAY
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MECHANICAL DETAILS

TM2.01

LEGEND OF ELECTRICAL SYMBOLS	
SYMBOL	DESCRIPTION
	CONDUIT RUN CONCEALED IN WALLS OR ABOVE CEILING. ARROW INDICATES HOMERUN TO PANEL. CONDUCTOR DESIGNATIONS ARE AS FOLLOWS: LONG HATCH INDICATES NEUTRAL, SHORT HATCH INDICATES PHASE, "1" INDICATES INSULATED OR ISOLATED GROUND, "2" INDICATES SWITCHLEG, AND NO HATCHES INDICATES TWO CONDUCTORS.
	PARTIAL HOME RUN. SAME AS ABOVE.
	CONDUIT RUN CONCEALED IN FLOOR SLAB, BELOW FLOOR SLAB OR BELOW GRADE. WIRING SAME AS ABOVE.
	HATCHED LINES INDICATES FIXTURE CONNECTED TO FLOOR EMERGENCY CIRCUIT.
	RELOCATED 3-LAMP 2'X4' RECESSED FLUORESCENT FIXTURE.
	EXISTING 2'X4' RECESSED FLOURESCENT FIXTURE TO REMAIN.
	UNDERCABINET FIXTURE. LETTER INDICATES FIXTURE TYPE. REFER TO LIGHTING FIXTURE SCHEDULE FOR SPECIFICATIONS.
	RELOCATED DOWNLIGHT FIXTURE. CONTRACTOR TO VERIFY TRIM TYPE OF EXISTING FIXTURE IS COMPATIBLE WITH LAY-IN CEILING TILES.
	WALL WASHER FIXTURE. LETTER INDICATES FIXTURE TYPE. REFER TO LIGHTING FIXTURE SCHEDULE FOR SPECIFICATIONS.
	NEW EXIT LIGHT. PROVIDE ARROWS AS INDICATED ON DRAWINGS. BASE BUILDING STANDARD. LESS THAN 5W PER SIDE.
	DUPLEX RECEPTACLE OUTLET; 20 AMP, 125V., 3 WIRE, GROUNDED TYPE.
	QUADRUPLUX RECEPTACLE OUTLET GANGED WITH A COMMON WALL PLATE; (2)-20 AMP, 125V, 3 WIRE, GROUNDED TYPE.
	DUPLEX RECEPTACLE OUTLET WITH GROUND FAULT INTERRUPTER; 20 AMP, 125V., 3 WIRE GROUNDED TYPE.
	FLUSH MOUNTED FLOOR OUTLET W/ RECEPTACLE (S) AND/OR DATA AND/OR TELEPHONE.
	COMBINATION TELEPHONE / DATA OUTLET.
	TELEPHONE OUTLET.
	DATA OUTLET
	TELEPHONE TERMINAL BOARD, 4'x8'x3/4" PLYWOOD.
	SINGLE POLE, SINGLE-THROW SWITCH; 20 AMP, 120/277V.
	3-WAY SWITCH: 20 AMP, 120/277V.
	OCCUPANCY SENSOR SWITCH. LUTRON MS-B102, U.N.O.
	VACANCY SENSOR SWITCH. WATTSTOPPER DSW-301, U.N.O.
	DIMMER SWITCH. LUTRON MAESTRO SERIES.
	JUNCTION BOX MOUNTED ABOVE ACCESSIBLE CEILING.
	JUNCTION BOX
	DISCONNECT IN A NEMA 1 ENCLOSURE, UNLESS OTHERWISE SPECIFIED. REFER TO DRAWINGS FOR AMPERAGE, PHASES, & FUSE SIZE. (IF REQUIRED)
	MOTOR STARTER / DISCONNECT IN A NEMA 1 ENCLOSURE, UNLESS OTHERWISE SPECIFIED. REFER TO DRAWINGS FOR AMPERAGE, PHASES, FUSE SIZE (IF REQUIRED), AND SIZE.
	TRANSFORMER - REFER TO DRAWINGS FOR VOLTAGE AND AMPERAGE.
	SURFACE PANELBOARD W/ NEC CLEARANCES; 120/208 VOLT.
	SURFACE PANELBOARD W/ NEC CLEARANCES; 277/480 VOLT.
NOTES: 1. ALL SYMBOLS MAY NOT BE USED ON THIS DRAWINGS. 2. REFER TO SPECIFICATIONS FOR MOUNTING HEIGHTS	

ELECTRICAL LIGHTING GENERAL NOTES:

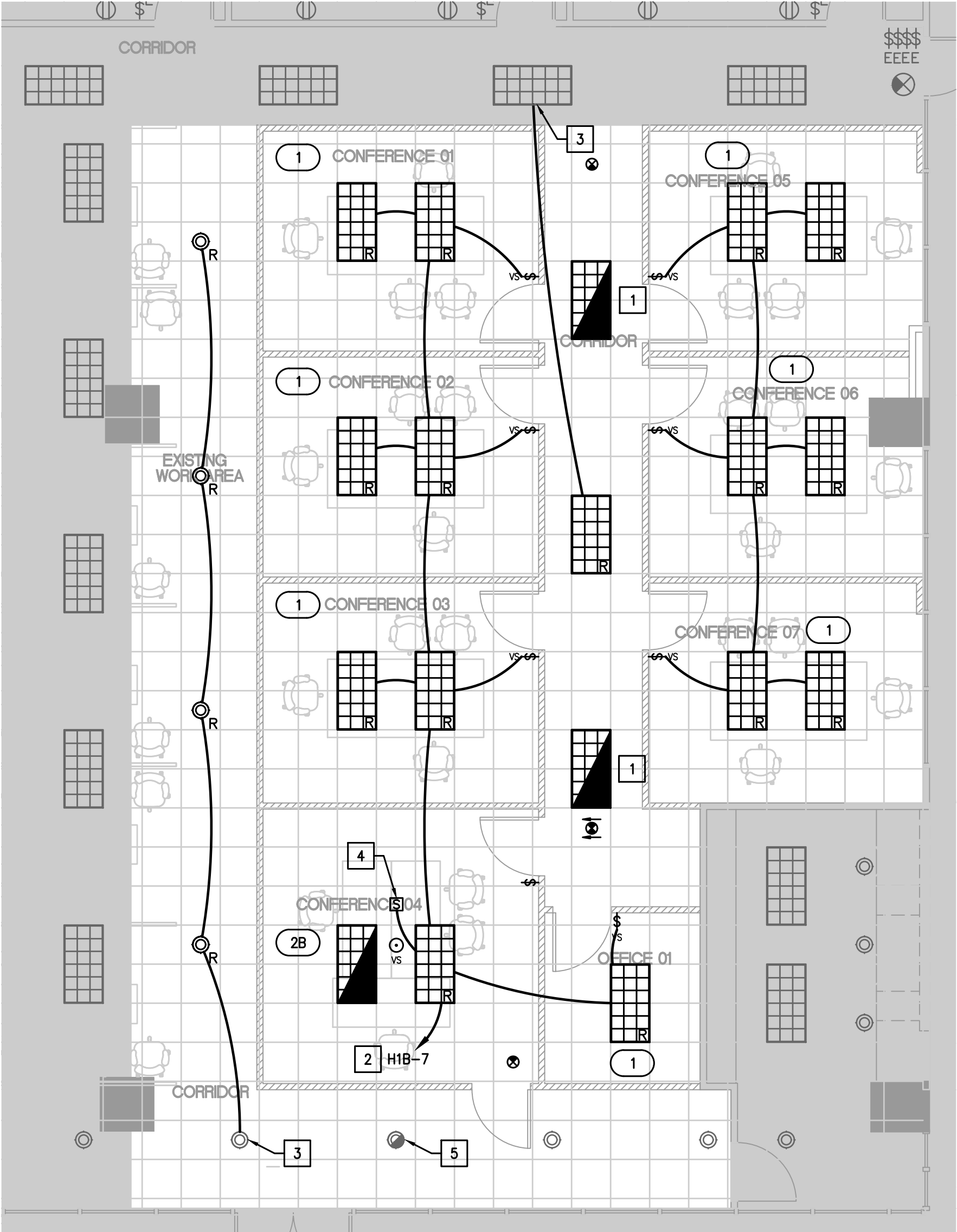
- MEP SPECIFICATIONS SHALL APPLY TO ALL WORK SHOWN ON THIS DRAWING UNLESS OTHERWISE NOTED.
- REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF ALL LIGHTING FIXTURES.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL JUNCTION BOXES IN THE JUNCTION BOX GRID AND AVAILABILITY OF ALL CIRCUITS INDICATED TO BE USED.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING EQUIPMENT PRIOR TO CONSTRUCTION. PROVIDE CIRCUIT TRACING AS REQUIRED TO DETERMINE CIRCUIT AVAILABILITY. PROVIDE A WRITTEN REPORT TO ENGINEER AND BUILDING MANAGEMENT SHOWING LIGHTING LOCATIONS AND CIRCUIT NUMBER USED.
- ALL UNUSED WIRING IS TO BE REMOVED BACK TO SOURCE UNLESS NOTED OTHERWISE.
- EGRESS AND EXIT LIGHT FIXTURES SHALL BE CONNECTED TO FLOOR EMERGENCY CIRCUIT WITH 2#10,1/2"C.
- ALL LIGHTS SHALL BE CLEANED AND RESTORED TO GOOD WORKING CONDITION. PROVIDE NEW FIXTURES TO MATCH EXISTING AS REQUIRED. RELAMP ALL FIXTURES WITH NEW LAMPS AS REQUIRED.
- CONTRACTOR SHALL REFER TO BUILDING MANAGEMENT'S "RULES AND REGULATIONS" TO COMPLY WITH BUILDING STANDARDS.
- FOR RETURN AIR PLENUMS, ALL MATERIALS LOCATED WITHIN A RETURN AIR PLENUM SHALL BE RATED AND APPROVED FOR INSTALLATION IN A RETURN AIR PLENUM.

ELECTRICAL LIGHTING KEYED NOTES:

- CONNECT RELOCATED CORRIDOR LIGHTS TO EXISTING EMERGENCY LIGHTING CIRCUIT TO ACT AS UNSWITCHED EMERGENCY LIGHT.
- RECIRCUIT RELOCATED LIGHTS TO EXISTING CIRCUIT LOCATED ABOVE THE CEILING IN THIS AREA. CONTRACTOR TO VERIFY LOAD DOES NOT EXCEED 4000VA PER 20A, 277V CIRCUIT.
- CIRCUIT AND CONTROL RELOCATED CORRIDOR LIGHTS WITH EXISTING CORRIDOR LIGHTS AS INDICATED. CONTRACTOR TO VERIFY LOAD DOES NOT EXCEED 4000VA PER 20A, 277V CIRCUIT.
- PROVIDE ISOLITE ELCD 924 ABOVE CEILING FOR ON/OFF CONTROL OF EMERGENCY FIXTURE IN ROOM. DURING NORMAL OPERATION THE RELAY POWER PACK WILL OPERATE BOTH FIXTURES. UPON LOSS OF POWER, THE DEVICE WILL ALLOW EMERGENCY FIXTURE TO TURN ON TO ACT AS EGRESS FIXTURE.
- CONTRACTOR TO VERIFY EXISTING EGRESS LIGHTING IN CORRIDOR AND PROVIDE NEW IF NECESSARY. CONNECT EXISTING DOWNLIGHT TO FLOOR EMERGENCY CIRCUIT IF NEEDED.

!!!!!!ATTENTION PLAN EXAMINER!!!!

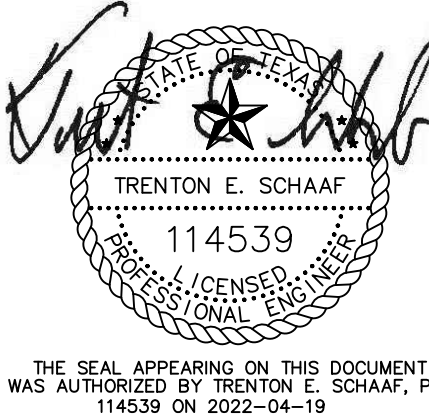
THIS PROJECT IS EXEMPT FROM PROVIDING DAYLIGHT RESPONSE CONTROLS PER IECC 2015 SECTION C405.2.3. ALL EXTERIOR SPACES HAVE LESS THAN 150 WATTS OF GENERAL LIGHTING WITHIN THE DAYLIGHT ZONE.



LIGHTING CONTROL SCHEDULE

MARK	CONTROL DESCRIPTION	CONTROL DEVICES	SEQUENCE OF OPERATION
1	WALL MOUNTED VACANCY SENSING	MS-B102 (DUAL-TECHNOLOGY WALL VACANCY SENSOR)	LIGHT FIXTURES IN THIS ROOM ARE TO BE MANUAL-ON/ AUTO-OFF CONTROLLED BY THE WALL MOUNTED VACANCY SENSOR SWITCH.
2B	CEILING MOUNTED VACANCY SENSING	PJ2-2B-GXX-L01 (WIRELESS REMOTE SWITCH) LRF2-OCR2B-P (WIRELESS CEILING VACANCY SENSOR) RMJS-16R-DV-B (RELAY POWER PACK WITH WIRELESS RECEIVER)	LIGHT FIXTURES IN THIS ROOM ARE TO BE MANUAL-ON/ AUTO-OFF CONTROLLED BY THE RELAY POWER PACK WITH WIRELESS RECEIVER; RECEIVING INPUTS FROM THE WIRELESS CEILING MOUNTED VACANCY SENSOR & THE WIRELESS REMOTE SWITCH.

THIS CONTROL SCHEDULE IS INTENDED TO PROVIDE GENERAL LIGHTING CONTROL DEVICE QUALITY AND PERFORMANCE REQUIREMENTS ONLY. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE EXACT MODEL/CATALOG NUMBER OF THE LIGHTING CONTROL DEVICES LISTED ABOVE. THIS LIGHTING CONTROL DESIGN IS BASED ON LUTRON LIGHTING CONTROL DEVICES, CONTRACTOR MUST SUBMIT ANY SUBSTITUTION OF AN APPROVED MANUFACTURER TO THE ENGINEER FOR REVIEW.



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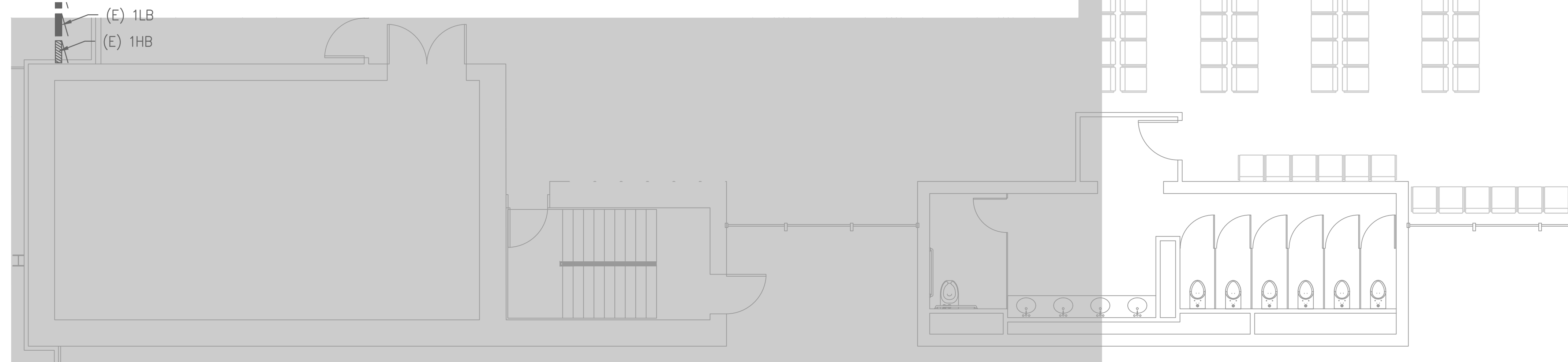
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ELECTRICAL LIGHTING PLAN

TE1.01



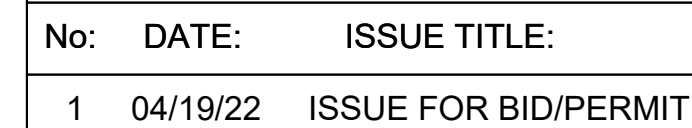
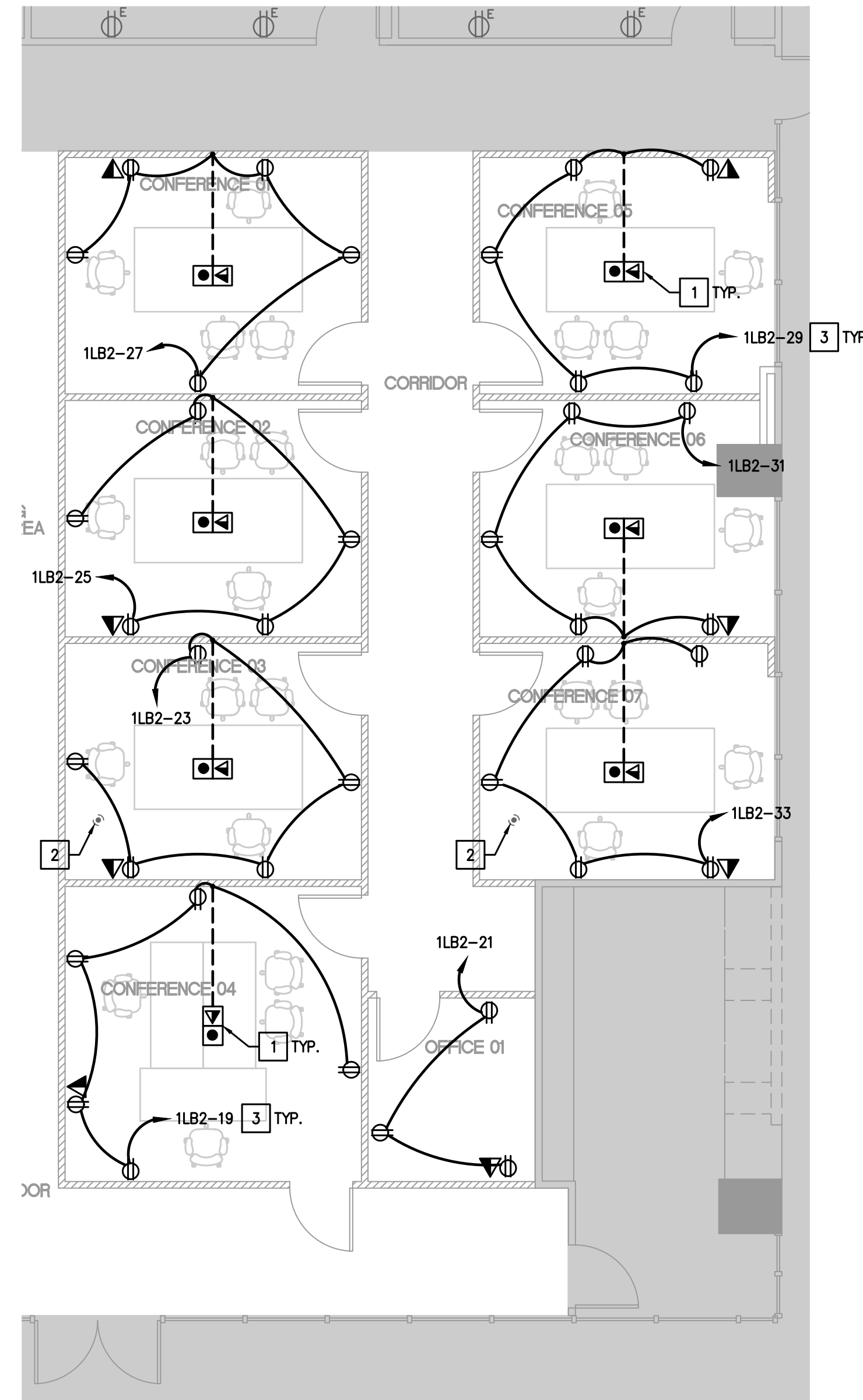
PROJECT NAME		HCAD ARB ROOMS																													
PROJECT NUMBER		22072.00																													
PANEL		1LB2		ONE OF THREE EXISTING PANELS FED FROM EXISTING 75KVA XFMR																											
VOLTAGE		120/208V, 3PH, 4W		BUS: 225 AMP				MANS: M.L.O				ACCESSORIES																			
CODES: 0=LIGHTS 1=RECEP 2=EQUIP 3=AUX 4=HTG 5=125% LGST MTR 6=KITCHEN 7=PREVIOUSLY CALCULATED																															
CODE	LOAD	CIRCUIT DESCRIPTION										BKR	EXT	HT	CKT	BKR	CIRCUIT DESCRIPTION										LOAD	CODE			
1	720	WORKSTATIONS - ROOM 176-85										*	2	1	A	2	201	PC CIRCUIT - ROOM 107										*	720	1	
1	720	WORKSTATIONS - ROOM 176-85										*	2	1	B	4	201	PC CIRCUIT - ROOM 112,13,15,16										*	720	1	
1	720	WORKSTATIONS - ROOM 176-85										*	2	1	5	6	201	PC CIRCUIT - ROOM 118,21,22,23										*	720	1	
1	720	WORKSTATIONS - ROOM 166-75										*	2	1	A	8	201	PC CIRCUIT - ROOM 125,27,28,30										*	720	1	
1	720	WORKSTATIONS - ROOM 166-75										*	2	1	9	10	201	PC CIRCUIT - ROOM 131,36										*	720	1	
1	720	WORKSTATIONS - ROOM 166-75										*	2	1	C	12	201	PC CIRCUIT - ROOM 156										*	720	1	
1	720	WORKSTATIONS - ROOM 156-65										*	2	1	13	14	201	MEETING ROOM RECEPS										*	1440	1	
1	720	WORKSTATIONS - ROOM 156-65										*	2	1	15	16	201	MEETING ROOM RECEPS										*	1440	1	
1	720	WORKSTATIONS - ROOM 156-65										*	2	1	17	18	201	MEETING ROOM RECEPS										*	1440	1	
1	1260	CONFERENCE ROOM RECEPS										**	2	1	19	20	201	MEETING ROOM RECEPS										*	1440	1	
1	540	OFFICED RECEPS										**	2	1	21	22	201	MEETING ROOM RECEPS										*	1440	1	
1	1260	CONFERENCE ROOM RECEPS										**	2	1	23	24	201	MEETING ROOM RECEPS										*	1440	1	
1	1260	CONFERENCE ROOM RECEPS										**	2	1	25	26	201	MEETING ROOM RECEPS										*	1440	1	
1	1260	CONFERENCE ROOM RECEPS										**	2	1	27	28	201	MEETING ROOM RECEPS										*	1440	1	
1	1260	CONFERENCE ROOM RECEPS										**	2	1	29	30	201											**	1440	1	
1	1260	CONFERENCE ROOM RECEPS										**	2	1	31	32		SPACE										***			
1	1260	CONFERENCE ROOM RECEPS										**	2	1	33	34		SPACE										***			
1	720	WORKSTATIONS										*	2	1	35	36		SPACE										***			
		SPACE										***			37	A	38		SPACE										***		
		SPACE										***			39	B	40		SPACE										***		
		SPACE										***			41	C	42		SPACE										***		
		LIGHTS	RECEP	EQUIP	MOTORS	EL HEAT	PHASE									PHASE	CONN	KVA	LOAD FACTORS		DES. KVA	DES. AMP									
		0	17700	0	0	0	0	A								A	11.7	LIGHTS @ 125%		7.5	63										
		0	10880	0	0	0	0	B								B	11.0	EQUIP @ 100%		7.2	60										
		0	9720	0	0	0	0	C								C	9.7	LG MOTOR @ 125%		6.5	54										
		0	32400	0	0	0	0	TOTAL								TOTAL	32.4	RECEPS @ 10kW-50%		21.2	59										
** EXISTING CIRCUIT BREAKER - ESTIMATED LOAD																															
*** EXISTING SPA RE CIRCUIT BREAKER																															
**** EXISTING BREAKER SPACE																															
***** REPLACES EXISTING BREAKER AS SHOWN																															



1. MEP SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS DRAWING UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECT FOR EXACT HEIGHT AND LOCATION OF ALL FLOOR AND WALL OUTLETS.
3. ALL DATA/TELEPHONE OUTLETS SHALL BE PROVIDED WITH PULL STRINGS.
4. CONTRACTOR SHALL LOCATE ALL ELECTRICAL & TELEPHONE OUTLETS WITHIN THE LIMITS OF THE TENANT FURNITURE PLAN PROVIDED BY THE ARCHITECT. CONTRACTOR SHALL MARK INTENDED LOCATION OF ALL OUTLETS PRIOR TO INSTALLATION, THEN SHALL NOTIFY TENANT FOR APPROVAL BEFORE PROCEEDING.
5. CONTRACTOR SHALL PROVIDE NEW CIRCUIT DIRECTORY CARD AT PANELS. CIRCUITS SHALL BE LABELED TO CORRESPOND TO THE CIRCUITS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CONNECT CIRCUITS AS REQUIRED TO COMPLY WITH THIS DRAWING.
6. CONDUCTORS SHALL BE #12 AWG SOLID COPPER (THWN) IN 1/2" CONDUIT UNLESS OTHERWISE INDICATED.
7. ALL OUTLETS TO BE MOUNTED VERTICALLY UNLESS OTHERWISE INDICATED.
8. CONTRACTOR SHALL PROVIDE ONE PULL STRING FOR EACH VOICE OR DATA OUTLET SHOWN. WHEN VOICE AND DATA OUTLETS ARE SHOWN ADJACENT, CONTRACTOR SHALL PROVIDE ONE PULL STRING (WITH ONE WALL PENETRATION) FOR THE PAIR, UNLESS NOTED OTHERWISE. VOICE AND DATA LINES SHALL BE PULLED BY OTHERS.
9. CONTRACTOR SHALL REFER TO BUILDING MANAGEMENT'S "RULES AND REGULATIONS" TO COMPLY WITH BUILDING STANDARDS.
10. GANG TOGETHER, ALL NEW ELECTRICAL, TELEPHONE AND COMPUTER OUTLETS SHOWN ADJACENT TO EACH OTHER.
11. VERIFY FINAL LOCATIONS FOR ROUGH-INS WITH FIELD MEASUREMENTS AND WITH THE REQUIREMENTS OF THE ACTUAL EQUIPMENT TO BE CONNECTED.
12. COORDINATE THE INSTALLATION OF ELECTRICAL MATERIALS AND EQUIPMENT ABOVE CEILINGS WITH SUSPENSION SYSTEM, MECHANICAL EQUIPMENT AND SYSTEMS, AND STRUCTURAL COMPONENTS. COORDINATE ELECTRICAL EQUIPMENT AND MATERIALS INSTALLATION WITH OTHER BUILDING COMPONENTS.
13. VERIFY MECHANICAL EQUIPMENT SWITCH AND CONNECTION REQUIREMENTS, ITEM BY ITEM, WITH THE MECHANICAL CONTRACTOR, BEFORE WIRING EQUIPMENT. RESOLVE ALL DISCREPANCIES WITHOUT FURTHER COST TO OWNER.
14. FOR RETURN AIR PLENUMS, ALL MATERIALS LOCATED WITHIN A RETURN AIR PLENUM SHALL BE RATED AND APPROVED FOR INSTALLATION IN A RETURN AIR PLENUM.

- 1 PROVIDE WIREMOLD RMPFB ROUND IN-GRADE FLOOR BOX WITH RP4C7C COVER KIT FOR POWER AND VOICE/DATA SERVICE IN THE FLOOR. ROUTE 1" DATA CONDUIT UP WALL TO ABOVE CEILING.
- 2 DEMOLISH EXISTING FLOOR BOXES FOR POWER TO DEMOLISHED SYSTEMS FURNITURE. REUSE EXISTING CIRCUITS FOR POWER TO NEW MEETING ROOMS.
- 3 CIRCUIT NEW MEETING ROOM TO CIRCUIT FROM DEMOLISHED SYSTEMS FURNITURE. CONTRACTOR TO VERIFY EXISTING CIRCUIT NUMBER AND UPDATE PANEL SCHEDULE ACCORDINGLY.

NOTE: ALL LOADS AND DEMAND FACTORS ARE IN ACCORDANCE WITH APPLICABLE SECTIONS OF NEC ARTICLE 220



LEVEL 1



ELECTRICAL POWER PLAN

TE2.01